

- S4.55 AMENDMENT SCHEDULE**
- INTERNAL APARTMENT LAYOUT CHANGES
 - FACADE CHANGES
 - ADDITIONAL GFA ADDED
 - COMMUNAL OPEN SPACES AND LANDSCAPE DESIGN UPDATES
 - COMMUNAL POOL AND ASSOCIATED STRUCTURES / SERVICES ADDED
 - MECHANICAL SUPPLY/EXHAUST SHAFTS ADDED FOR BASEMENT VENTILATION
 - BASEMENT PARKING AMENDED
 - LIFT LOBBY ROOF AMENDED
 - UPDATED OSD TANK SIZE
 - REVISED ROOF DESIGN
 - UPDATED BASEMENT/WASTE SERVICES SPATIALS

Car Parking				
TYPOLGY	NO OF UNITS	MAX RATE	MIN	PROVIDED
1 Bedroom Apartment	15	1.0	15	15
2 Bedroom Apartment	16	1.2	19	19
3 Bedroom Apartment/Terrace	60	1.5	90	107
3 Bedroom Terrace with Garage	42	2.0	84	84
Subtotal	133	-	208	225
Accessible Spaces			13	13
Visitor	133	0.2	27	27
Accessible Spaces			1	1
TOTAL			252	

Bicycle Parking			
	NO OF UNITS	RATE	PROVIDED
Residential (Basement)		0.2	27
Visitor (Ground Level)	133	0.1	13
TOTAL			40

- STANDARD PARKING SPACE (5400x2400)
- ACCESSIBLE PARKING SPACE (5400x2400)
- PRIVATE GARAGE SPACE (5400x2400)
- VISITOR PARKING SPACE (5400x2400)
- ACCESSIBLE VISITOR PARKING SPACE (5400x2400)
- EXTENT OF BUILT FORM ABOVE
- TREE PROTECTION ZONES

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Nominated Architects: Adam Haddow-7188 | John Pradel-7004

FOR APPROVAL				
Rev	Date	Revision	By	Chk.
1	05.05.2020	Preliminary - DA Set 20%	JS	WG
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6	28.07.2020	For Coordination	JS	WG
7	11.08.2020	For Coordination	JS	WG
8	27.08.2020	For DA	JS	WG
9	17.03.2021	For DA - Additional Information	JS	WG
10	28.07.2021	Post SOfPAC	WG	WG
11	22.08.2021	For review	WG	WG
12	24.08.2021	Co-ordination	WG	WG
13	26.08.2021	Co-ordination	WG	WG
14	30.08.2021	L&EC Submission	BM	WG
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17	01.11.2023	S4.55 Modification	DC	DC
18	03.11.2023	S4.55 Modification	DC	JT
19	19.01.2024	S4.55 Modification	DC	JT
20	25.01.2024	S4.55 Modification	DC	JT
21	07.02.2024	S4.55 Modification	DC	JT
22	12.03.2024	S4.55 Modification	DC	JT

Client

Coronation Property

Project

ASHBURY STAGE 2
149-163 MILTON STREET
ASHBURY NSW 2193

Drawing Name

Overall Plan - Basement

Date 12.03.2024 Scale As indicated Sheet Size @ A1

Drawn DC Chk. JT

Job No. 6839 Drawing No. DA-0101 / 22 Revision



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8	27.08.2020	For DA	JS	WG
9	22.08.2021	For review	JS	WG
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17	03.11.2023	S4.55 Modification	DC	DC
18	04.12.2023	Draft S4.55 Modification	DC	DC
19	13.12.2023	S4.55 Modification	DC	DC
20	25.01.2024	S4.55 Modification	DC	DC
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22	12.03.2024	S4.55 Modification	DC	DC

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Client

Coronation Property

Project

ASHBURY STAGE 2

149-163 MILTON STREET
ASHBURY NSW 2193

Drawing Name

Overall Plan - Ground Floor

Date 12.03.2024 Scale 1 : 300 Sheet Size @ A1

Drawn DC Chk. JT

Job No. 6839 Drawing No. DA-0110 Revision / 22



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7	27.08.2020	For DA	JS	WG
8	22.08.2021	For review	WG	WG
9	30.08.2021	L&EC Submission	BM	WG
10	18.09.2021	L&EC Submission	BM	AH
11	27.10.2021	L&EC Submission	WG	WG
12	01.11.2023	Draft S4.55 Modification	DC	DC
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Client

Coronation Property

Project

ASHBURY STAGE 2

149-163 MILTON STREET
ASHBURY NSW 2193

Drawing Name

Overall Plan - Level 1

Date
12.03.2024

Scale
1 : 300

Sheet Size
@ A1

Drawn
DC

Chk.
JT

Job No.
6839

Drawing No.
DA-0111

Revision
/ 18



- S4.55 AMENDMENT SCHEDULE**
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Client

Coronation Property

Project

ASHBURY STAGE 2

149-163 MILTON STREET
ASHBURY NSW 2193

Drawing Name

Overall Plan - Level 2

Date 12.03.2024 Scale 1 : 300 Sheet Size @ A1

Drawn DC Chk. JT

Job No. 6839 Drawing No. DA-0112 Revision / 17

SJB Architects
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8	30.08.2021	L&EC Submission	BM	WG
9	18.09.2021	L&EC Submission	BM	AH
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15	12.03.2024	S4.55 Modification	DC	JT

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Client

Coronation Property

Project

ASHBURY STAGE 2

**149-163 MILTON STREET
ASHBURY NSW 2193**

Drawing Name

Overall Plan - Level 3

Date
12.03.2024

Scale
1 : 300

Sheet Size
@ A1

Drawn
DC

Chk.
JT

Job No.
6839

Drawing No.
DA-0113

Revision
/ 15

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 - UPDATED OSD TANK SIZE
 - REVISED ROOF DESIGN
 - UPDATED BASEMENT SERVICES & WASTE SPATIALS

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4	21.07.2020	For Coordination	JS	WG
5	28.07.2020	For Coordination	JS	WG
6	11.08.2020	For Coordination	JS	WG
7	27.08.2020	For DA	JS	WG
8	22.08.2021	For review	WG	WG
9	30.08.2021	L&EC Submission	BM	WG
10	18.09.2021	L&EC Submission	BM	AH
11	01.11.2023	Draft S4.55 Modification	DC	DC
12	03.11.2023	S4.55 Modification	DC	JT
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16	12.03.2024	S4.55 Modification	DC	JT

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Client

Coronation Property

Project

ASHBURY STAGE 2

149-163 MILTON STREET
ASHBURY NSW 2193

Drawing Name

Overall Plan - Level 4

Date
12.03.2024

Scale
1 : 300

Sheet Size
@ A1

Drawn
DC

Chk.
JT

Job No.
6839

Drawing No.
DA-0114

Revision
/ 16



- S4.55 AMENDMENT SCHEDULE**
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6	11.08.2020	For Coordination	JS	WG
7	27.08.2020	For DA	JS	WG
8	22.08.2021	For review	WG	WG
9	30.08.2021	L&EC Submission	BM	WG
10	18.09.2021	L&EC Submission	BM	AH
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Client

Coronation Property

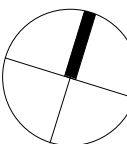
Project

ASHBURY STAGE 2

149-163 MILTON STREET
ASHBURY NSW 2193

Drawing Name

Overall Plan - Level 5



Date: 12.03.2024
Scale: 1 : 300
Sheet Size: @ A1

Drawn: DC
Chk.: JT

Job No.: 6839
Drawing No.: DA-0115
Revision: / 16

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3	21.07.2020	For Coordination	JS	WG
4	28.07.2020	For Coordination	JS	WG
5	11.08.2020	For Coordination	JS	WG
6	27.08.2020	For DA	JS	WG
7	22.08.2021	For review	WG	WG
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Client

Coronation Property

Project

ASHBURY STAGE 2

149-163 MILTON STREET
ASHBURY NSW 2193

Drawing Name

Overall Plan - Roof

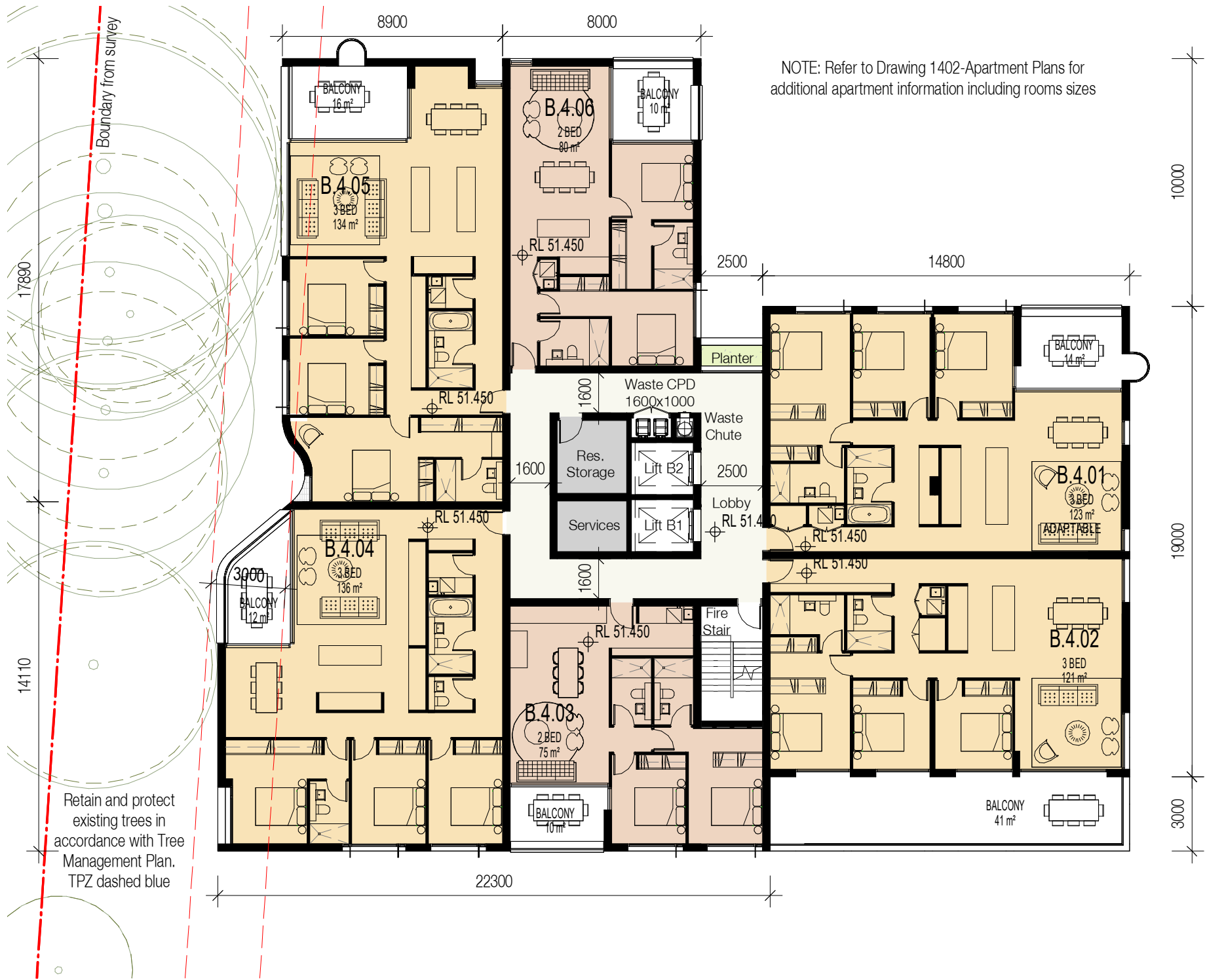
Date 12.03.2024 Scale 1 : 300 Sheet Size @ A1

Drawn DC Chk. JT

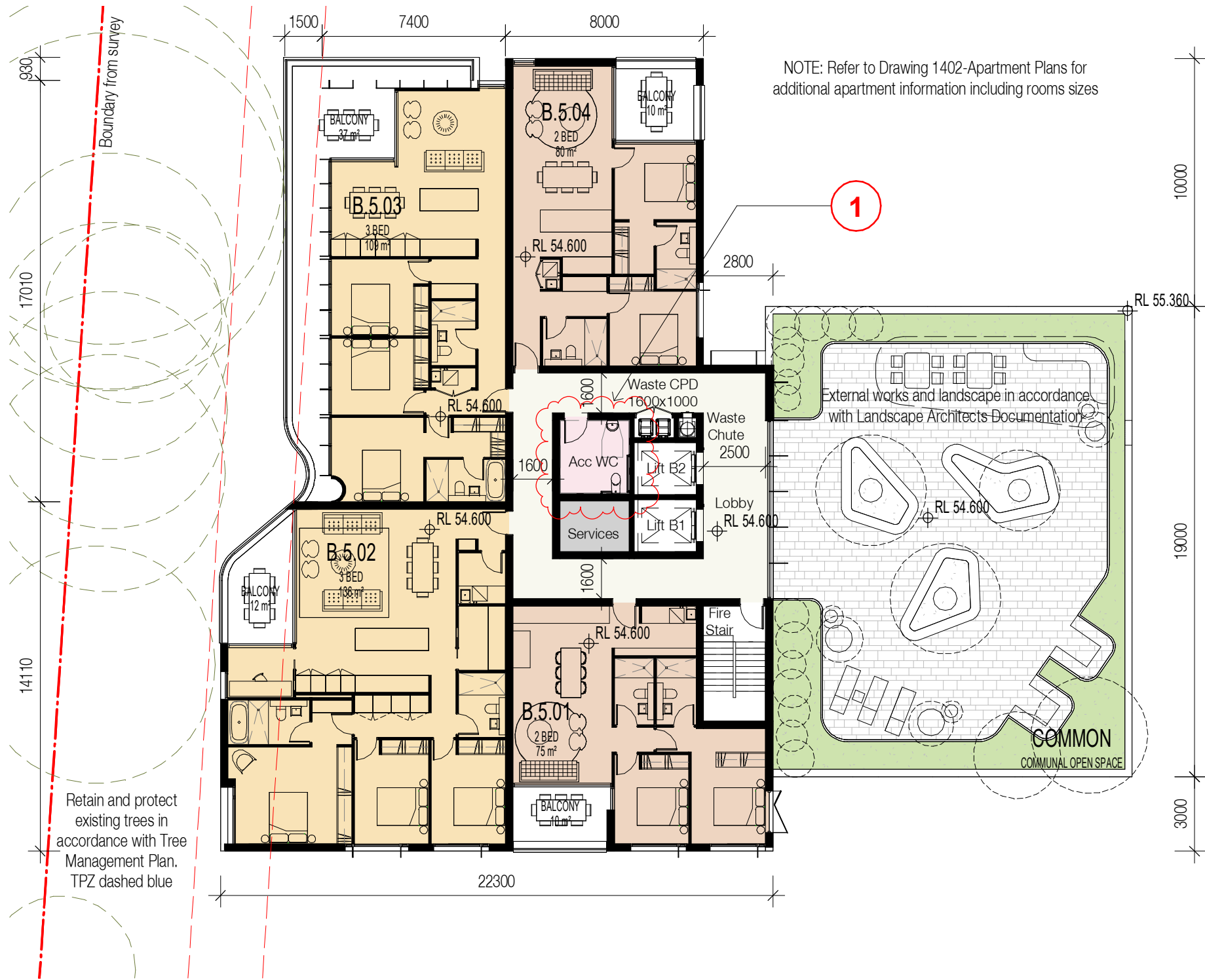
Job No. 6839 Drawing No. DA-0116 Revision / 15

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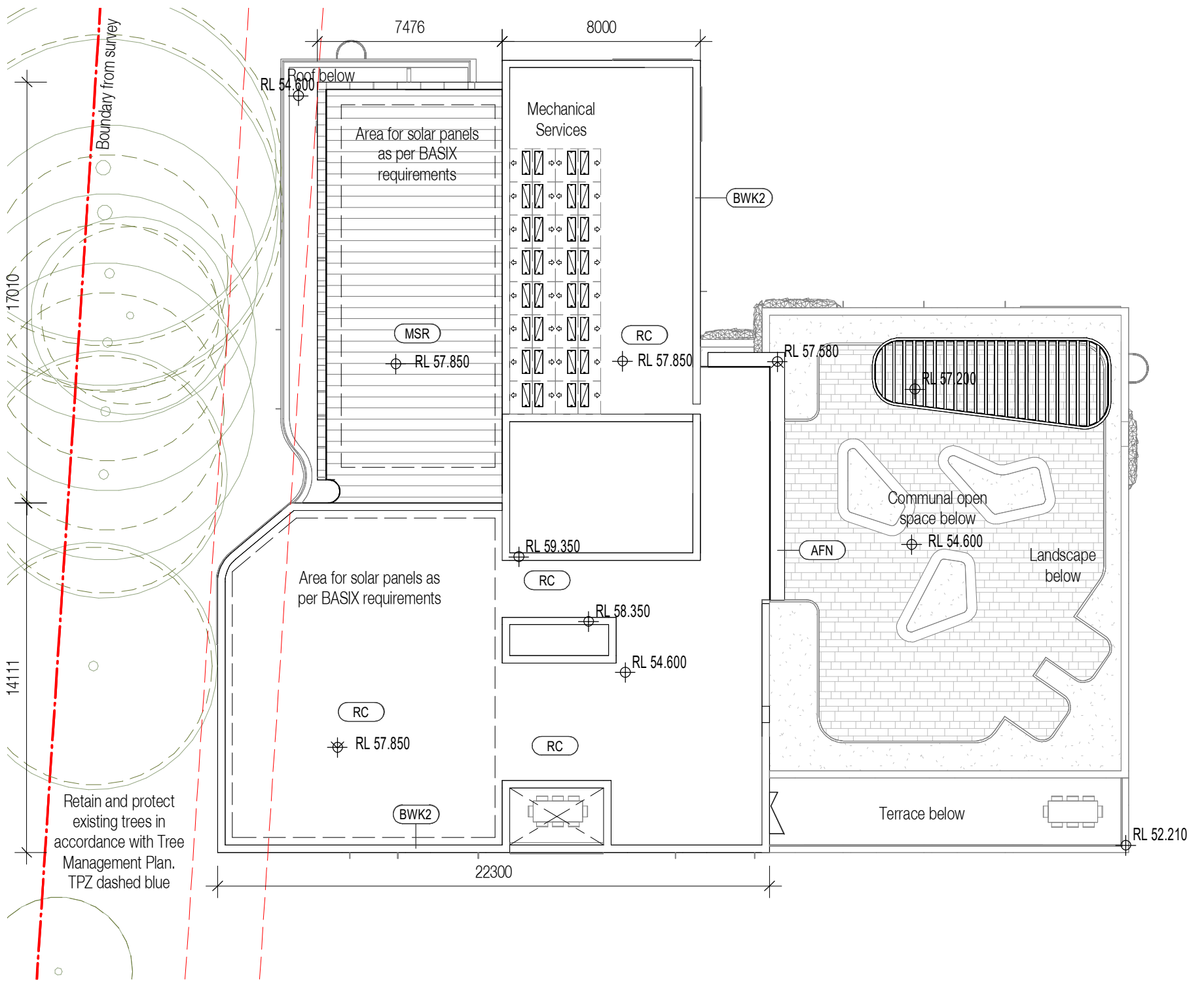




B-Level 4



B-Level 5



B-Rooftop

S4.55 AMENDMENT SCHEDULE

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- LIFT LOBBY ROOF AMENDED
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- REVISED ROOF DESIGN
- UPDATED BASEMENT SERVICES & WASTE SPATIALS

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Nominated Architects: Adam Haddow-7188 | John Pradel-7004

FOR INFORMATION

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7	17.03.2021	For DA - Additional Information	JS	WG
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10	13.12.2023	S4.55 Modification	DC	JT
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NOTE: MINOR CHANGES TO FORM AND CONFIGURATION MAY BE REQUIRED WHEN DRAWINGS ARE SUBSEQUENTLY PREPARED FOR CONSTRUCTION PURPOSES AFTER THE GRANT OF DEVELOPMENT CONSENT

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Traffic

Ason Group

Waste Management

Elephant's Foot Waste Compactors

Arborist

Naturally Trees

Access Consultant

Jensen Hughes

Client

Coronation Property

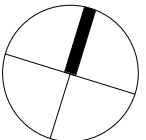
Project

ASHBURY STAGE 2

149-163 MILTON STREET
ASHBURY NSW 2193

Drawing Name

Building B - Sheet 2



Date	Scale	Sheet Size
12.03.2024	As indicated	@ A1

Drawn	Chk.
DC	JT

Job No.	Drawing No.	Revision
6839	DA-0212	/ 12

Materials Legend

AFW Aluminium Framed Window
AFN Aluminium Fin
BWK Face Brickwork

- (1) Stretcher Course
- (2) Soldier Course
- (3) Stack Course
- Metal Balustrade

MB Metal Sheet Roof
MSR Concrete Structure
RC Concrete Sill + Handrail
SIL Timber Framed Window/Door
TFW Timber Palisade Fence/Gate

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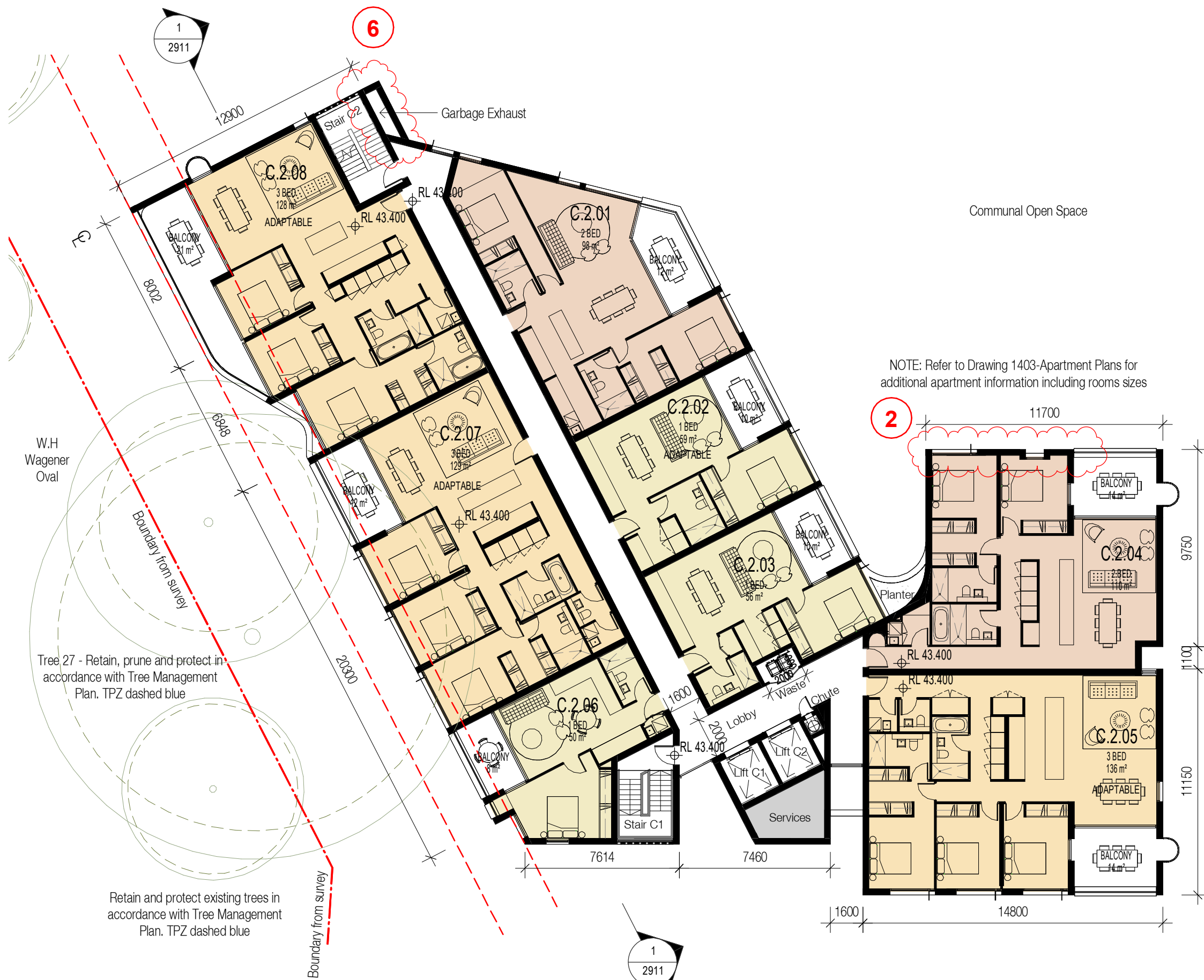




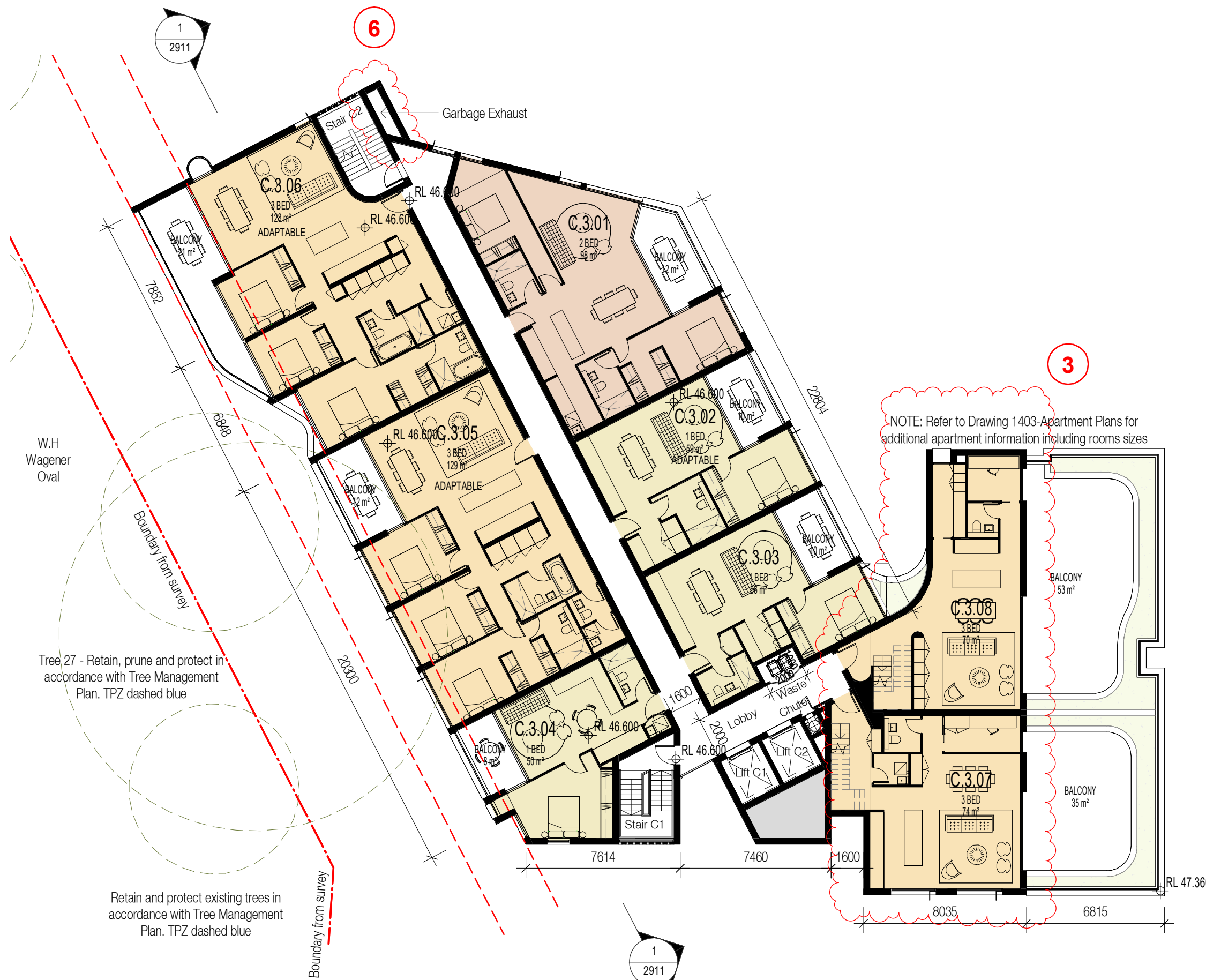
C-Ground



C-Level 1



C-Level 2



C-Level 3

- S4.55 AMENDMENT SCHEDULE**
- INTERNAL LAYOUT CHANGES
 - FACADE CHANGES
 - ADDITIONAL GFA ADDED
 - COMMUNAL OPEN SPACES AND LANDSCAPE DESIGN UPDATES
 - COMMUNAL POOL AND ASSOCIATED STRUCTURES / SERVICES ADDED
 - MECHANICAL SUPPLY/EXHAUST SHAFTS ADDED FOR BASEMENT VENTILATION
 - BASEMENT PARKING AMENDED
 - LIFT LOBBY ROOF AMENDED
 - UPDATED OSD TANK SIZE
 - REVISED ROOF DESIGN
 - UPDATED BASEMENT SERVICES & WASTE SPATIALS

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Access Consultant

Jensen Hughes

Client

Coronation Property

Project

ASHBURY STAGE 2

149-163 MILTON STREET
ASHBURY NSW 2193

Drawing Name

Building C - Sheet 1

Date	Scale	Sheet Size
12.03.2024	As indicated	@ A1

Drawn	Chk.
DC	JT

Job No.	Drawing No.	Revision
6839	DA-0221	/ 14

Materials Legend

AFW Aluminium Framed Window
AFN Aluminium Fin
BWK Face Brickwork

- (1) Stretcher Course
- (2) Soldier Course
- (3) Stack Course

MB Metal Sheet Roof
MSR Concrete Structure
RC Concrete Sill + Handrail
SIL Timber Framed Window/Door
TFW Timber Palisade Fence/Gate
TPF

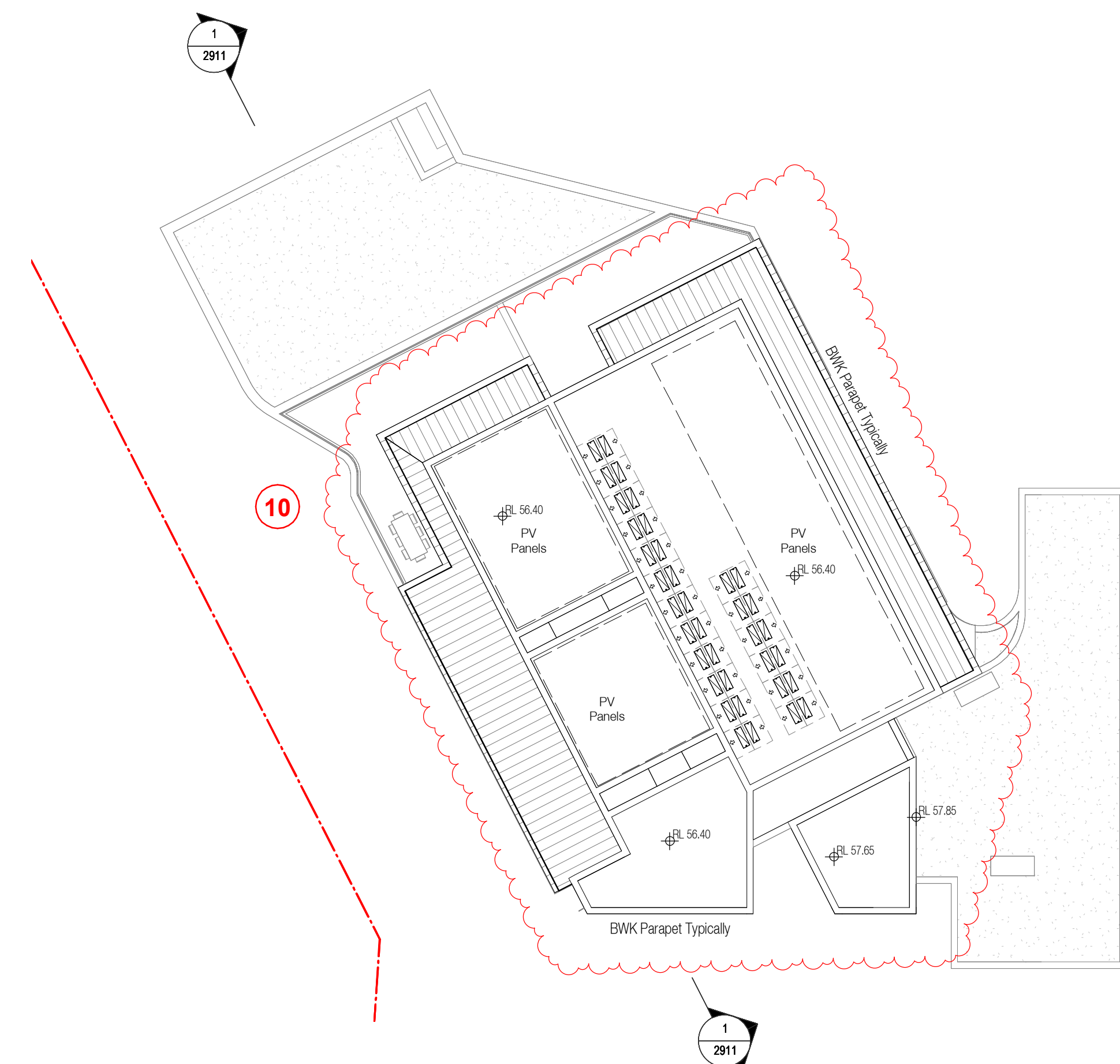




C-Level 4



C-Level 5



C-Roof

S4.55 AMENDMENT SCHEDULE

- INTERNAL LAYOUT CHANGES
- FACADE CHANGES
- ADDITIONAL GFA ADDED
- COMMUNAL OPEN SPACES AND LANDSCAPE DESIGN UPDATES
- COMMUNAL POOL AND ASSOCIATED STRUCTURES / SERVICES ADDED
- MECHANICAL SUPPLY/EXHAUST SHAFTS ADDED FOR BASEMENT VENTILATION
- BASEMENT PARKING AMENDED
- LIFT LOBBY ROOF AMENDED
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8	15.07.2021	Issued for Section34	WG	WG
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10	30.08.2021	L&EC Submission	BM	WG
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Arborist

Naturally Trees

Access Consultant

Jensen Hughes

Client

Coronation Property

Project

ASHBURY STAGE 2

149-163 MILTON STREET
ASHBURY NSW 2193

Drawing Name

Building C - Sheet 2

Date	Scale	Sheet Size
12.03.2024	As indicated	@ A1

Drawn	Chk.
DC	JT

Job No.	Drawing No.	Revision
6839	DA-0222	/ 14

Materials Legend

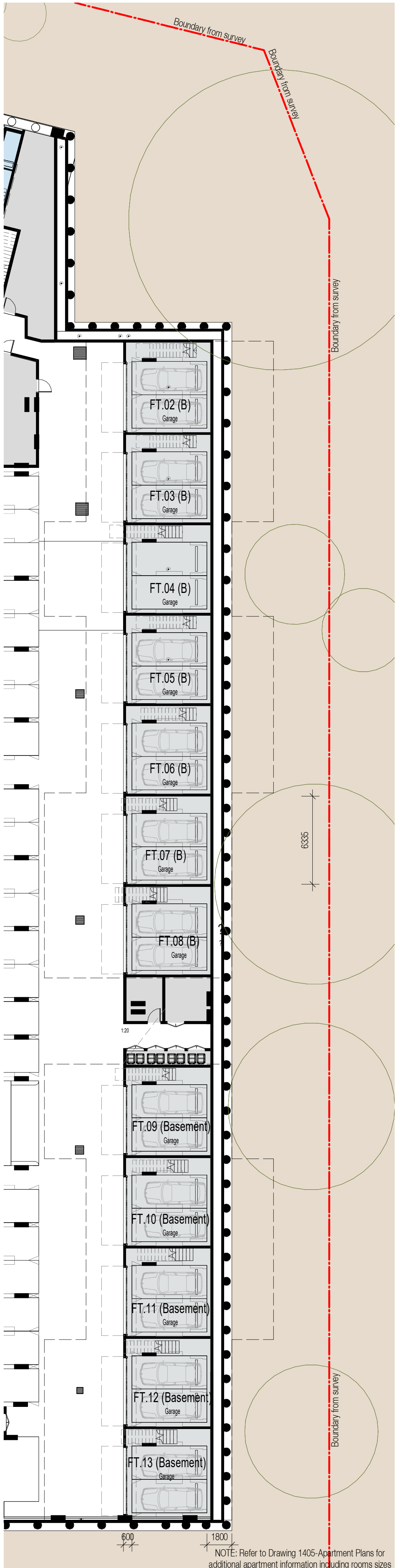
AFW Aluminium Framed Window
AFN Aluminium Fin
BWK Face Brickwork

(1) Stretcher Course
(2) Soldier Course
(3) Stack Course

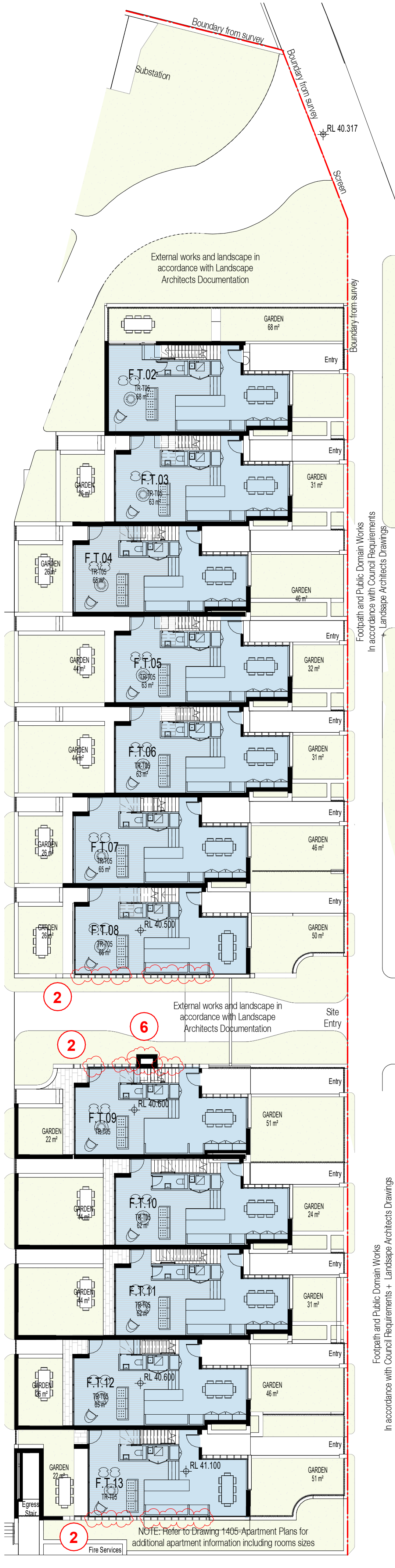
MB Metal Sheet Roof
RC Concrete Structure
SIL Concrete Sill + Handrail
TFW Timber Framed Window/Door
TPF Timber Palisade Fence/Gate

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F-Basement



F-Ground

S4.55 AMENDMENT SCHEDULE

- INTERNAL LAYOUT CHANGES
- FACADE CHANGES
- ADDITIONAL GFA ADDED
- COMMUNAL OPEN SPACES AND LANDSCAPE DESIGN UPDATES
- COMMUNAL POOL AND ASSOCIATED STRUCTURES / SERVICES ADDED
- MECHANICAL SUPPLY/EXHAUST SHAFTS ADDED FOR BASEMENT VENTILATION
- BASEMENT PARKING AMENDED
- LIFT LOBBY ROOF AMENDED
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Waste Management

Elephant's Foot Waste Compactors

Arborist

Naturally Trees

Access Consultant

Jensen Hughes

Client

Coronation Property

Project

ASHBURY STAGE 2

149-163 MILTON STREET
ASHBURY NSW 2193

Drawing Name

Building F - Sheet 1

Date	Scale	Sheet Size
12.03.2024	As indicated	@ A1

Drawn	Chk.
DC	JT

Job No.	Drawing No.	Revision
6839	DA-0251	/ 10

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Materials Legend

- AFW Aluminium Framed Window
- AFN Aluminium Fin
- BWK Face Brickwork
 - (1) Stretcher Course
 - (2) Soldier Course
 - (3) Stack Course
- MB Metal Balustrade
- MSR Metal Sheet Roof
- RC Concrete Structure
- SIL Concrete Sill + Handrail
- TFW Timber Framed Window/Door
- TPF Timber Palisade Fence/Gate



F-Level 1



F-Roof

S4.55 AMENDMENT SCHEDULE

- INTERNAL LAYOUT CHANGES
- FACADE CHANGES
- ADDITIONAL GFA ADDED
- COMMUNAL OPEN SPACES AND LANDSCAPE DESIGN UPDATES
- COMMUNAL POOL AND ASSOCIATED STRUCTURES / SERVICES ADDED
- MECHANICAL SUPPLY/EXHAUST SHAFTS ADDED FOR BASEMENT VENTILATION
- BASEMENT PARKING AMENDED
- LIFT LOBBY ROOF AMENDED
- UPDATED OSD TANK SIZE
- REVISED ROOF DESIGN
- UPDATED BASEMENT SERVICES & WASTE SPATIALS

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Elephant's Foot Waste Compactors

Arborist

Naturally Trees

Access Consultant

Jensen Hughes

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Coronation Property

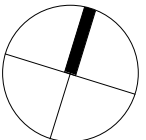
Project

ASHBURY STAGE 2

149-163 MILTON STREET
ASHBURY NSW 2193

Drawing Name

Building F - Sheet 2



Date	Scale	Sheet Size
12.03.2024	As indicated	@ A1

Drawn	Chk.
DC	JT

Job No.	Drawing No.	Revision
6839	DA-0252	/ 5

Materials Legend

- AFW Aluminium Framed Window
- AFN Aluminium Fin
- BWK Face Brickwork

- (1) Stretcher Course
- (2) Soldier Course
- (3) Stack Course

- MB Metal Sheet Roof
- RC Concrete Structure
- SIL Concrete Sill + Handrail
- TFW Timber Framed Window/Door
- TPF Timber Palisade Fence/Gate

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S4.55 AMENDMENT SCHEDULE

- INTERNAL LAYOUT CHANGES
- FACADE CHANGES
- ADDITIONAL GFA ADDED
- COMMUNAL OPEN SPACES AND LANDSCAPE DESIGN UPDATES
- COMMUNAL POOL AND ASSOCIATED STRUCTURES / SERVICES ADDED
- MECHANICAL SUPPLY/EXHAUST SHAFTS ADDED FOR BASEMENT VENTILATION
- BASEMENT PARKING AMENDED
- LIFT LOBBY ROOF AMENDED
- UPDATED OSD TANK SIZE
- REVISED ROOF DESIGN
- UPDATED BASEMENT SERVICES & WASTE SPATIALS

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7	15.07.2021	Issued for Section34	WG	WG
8	30.08.2021	L&EC Submission	BM	WG
9	18.09.2021	L&EC Submission	BM	AH
10	27.10.2021	L&EC Submission	WG	WG
11	01.11.2023	Draft S4.55 Modification	DC	DC
12	03.11.2023	S4.55 Modification	DC	JT
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East (Milton Street)



North

Client

Coronation Property

Project	ASHBURY STAGE 2
	149-163 MILTON STREET
	ASHBURY NSW 2193
Drawing Name	Elevations - North & East



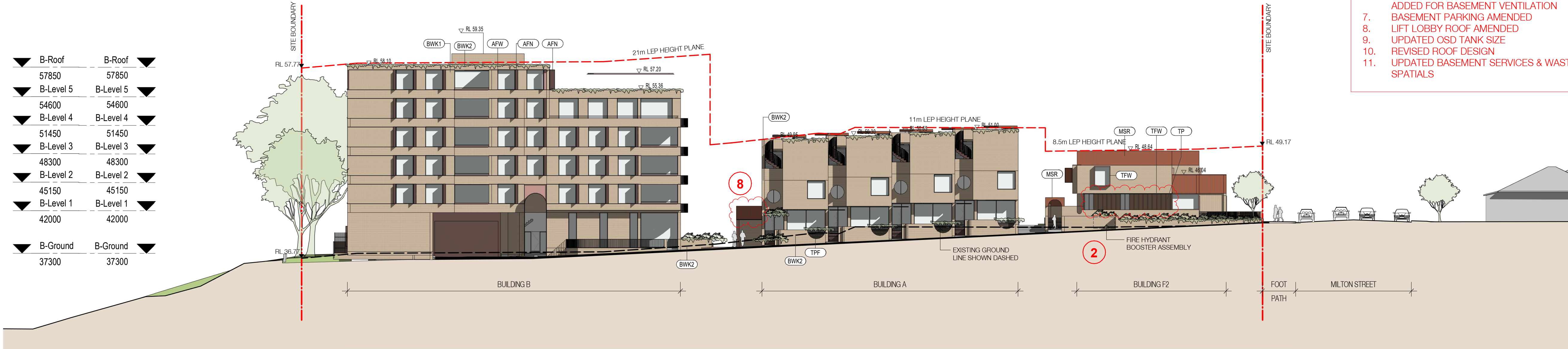
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Drawn	Chk.
DC	JT

Job No.	Drawing No.	Revision
6839	DA-0501	/ 15

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South (New Street)



West

S4.55 AMENDMENT SCHEDULE

- INTERNAL LAYOUT CHANGES
- FACADE CHANGES
- ADDITIONAL GFA ADDED
- COMMUNAL OPEN SPACES AND LANDSCAPE DESIGN UPDATES
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- MECHANICAL SUPPLY/EXHAUST SHAFTS ADDED FOR BASEMENT VENTILATION
- BASEMENT PARKING AMENDED
- LIFT LOBBY ROOF AMENDED
- UPDATED OSD TANK SIZE
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Client

Coronation Property

Project

ASHBURY STAGE 2

149-163 MILTON STREET
ASHBURY NSW 2193

Drawing Name

Elevations - South & West

Materials Legend

AFW Aluminium Framed Window
AFN Aluminium Fin
BWK Face Brickwork

(1) Stretcher Course
(2) Soldier Course
(3) Stack Course

MB Metal Sheet Roof
RC Concrete Structure
SIL Concrete Sill + Handrail

TFW Timber Framed Window/Door
TPF Timber Palisade Fence/Gate
TP Timber Infill Panel (to match TFW)

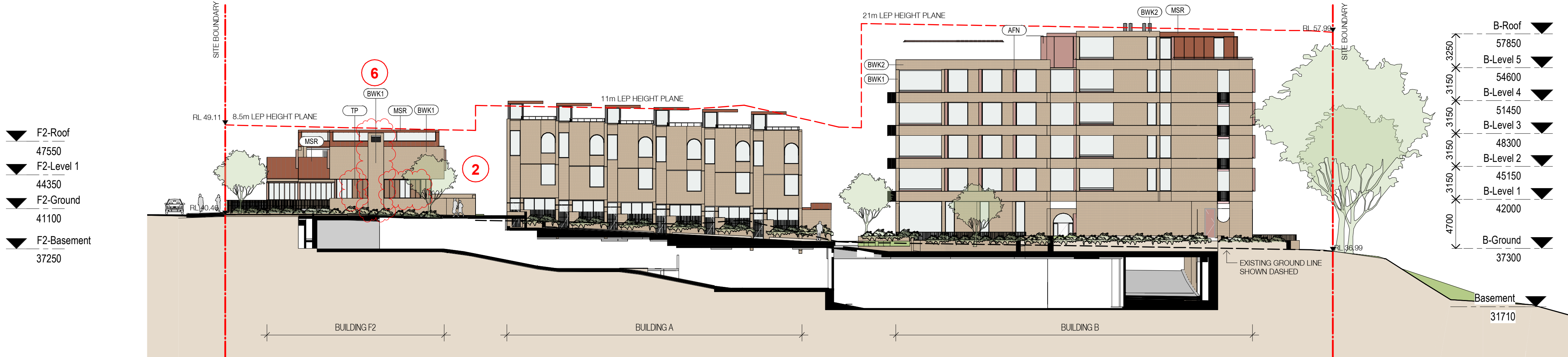
Date 12.03.2024 Scale As indicated Sheet Size @ A1

Drawn DC Chk. JT

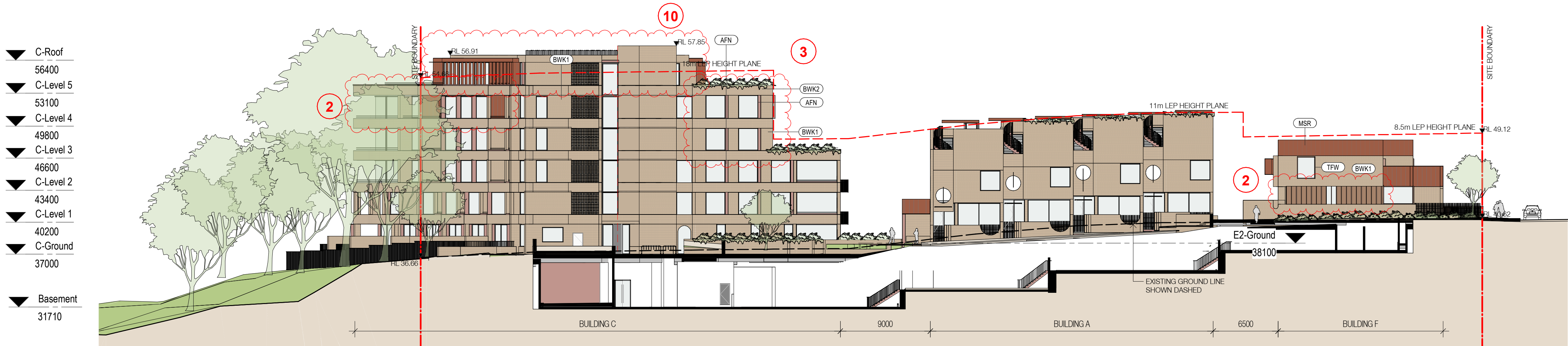
Job No. 6839 Drawing No. DA-0502 Revision / 15

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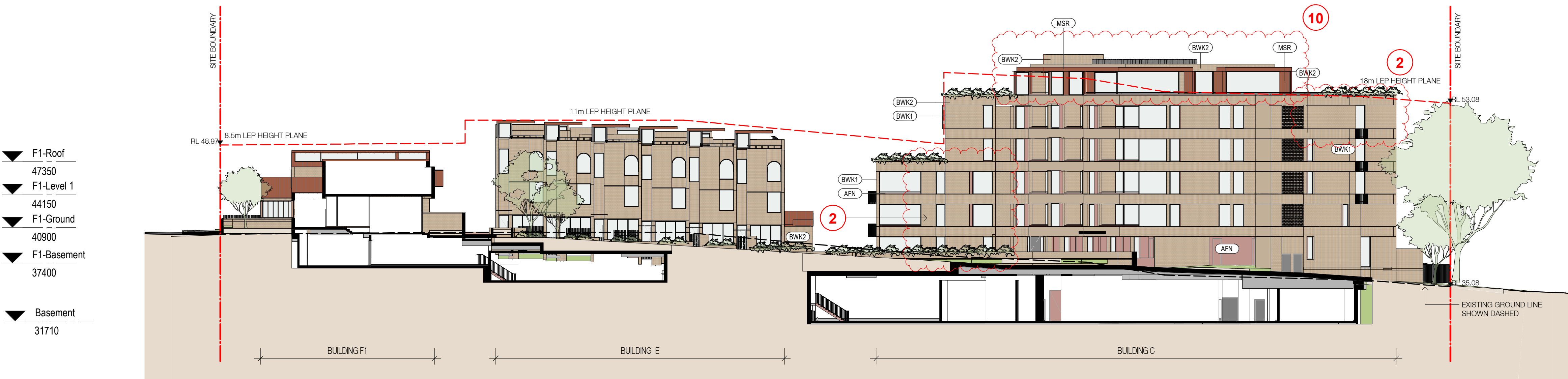




Building A, B & F3 North Height Plane Cut



Building C, E & F2 South Height Plane Cut



Building C, E & F2 North Height Plane Cut

S4.55 AMENDMENT SCHEDULE

- INTERNAL LAYOUT CHANGES
- FACADE CHANGES
- ADDITIONAL GFA ADDED
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- UPDATED OSD TANK SIZE
- REVISED ROOF DESIGN
- UPDATED BASEMENT SERVICES & WASTE SPATIALS

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Nominated Architects: Adam Haddow-7188 | John Pradel-7004

FOR APPROVAL

Rev	Date	Revision	By	Chk.
1	05.05.2020	Preliminary - DA Set 20%	JS	WG
2	18.05.2020	Preliminary - DA Set 40%	JS	WG
3	21.07.2020	For Coordination	JS	WG
4	28.07.2020	For Coordination	JS	WG
5	27.08.2020	For DA	JS	WG
6	17.03.2021	For DA - Additional Information	JS	WG
7	15.07.2021	Issued for Section34	WG	WG
8	30.08.2021	L&EC Submission	BM	WG
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12	03.11.2023	S4.55 Modification	DC	JT
13	13.12.2023	S4.55 Modification	DC	JT
14	25.01.2024	S4.55 Modification	DC	JT
15	07.02.2024	S4.55 Modification	DC	JT
16	12.03.2024	S4.55 Modification	DC	JT

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Client

Coronation Property

Project

ASHBURY STAGE 2

149-163 MILTON STREET
ASHBURY NSW 2193

Drawing Name

Elevations - Internal Sheet 1

Date 12.03.2024 Scale As indicated Sheet Size @ A1

Drawn DC Chk. JT

Job No. 6839 Drawing No. DA-0503 Revision / 16

Materials Legend

AFW Aluminium Framed Window
AFN Aluminium Fin
BWK Face Brickwork

(1) Stretcher Course
(2) Soldier Course
(3) Stack Course
Metal Balustrade

MB Metal Sheet Roof

RC Concrete Structure

SIL Concrete Sill + Handrail

TFW Timber Framed Window/Door

TPE Timber Palisade Fence/Gate

TP Timber Infill Panel (to match TFW)

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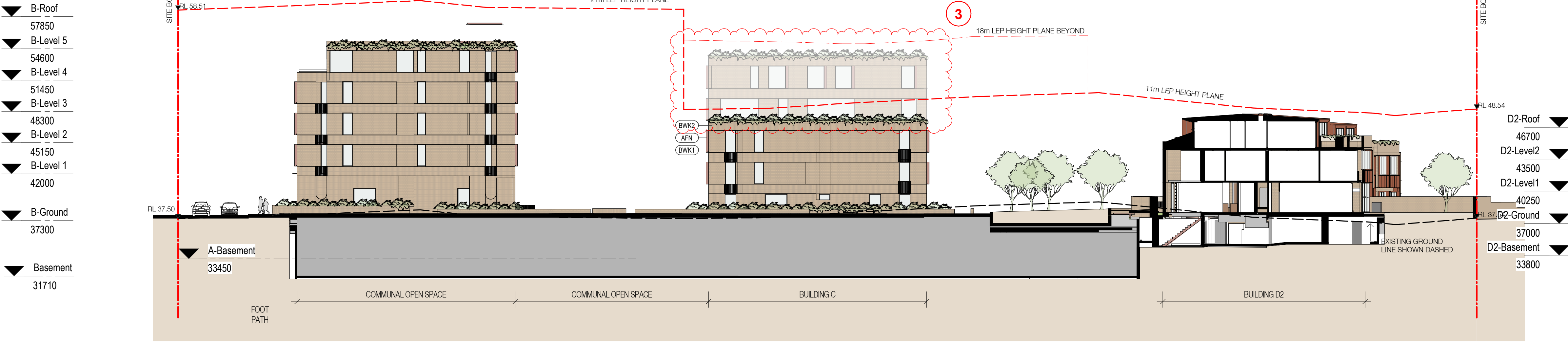


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Nominated Architects: Adam Haddow-7188 | John Pradel-7004

FOR APPROVAL

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6	17.03.2021	For DA - Additional Information	JS	WG
7	15.07.2021	Issued for Section34	WG	WG
8	30.08.2021	L&EC Submission	BM	WG
9	18.09.2021	L&EC Submission	BM	AH
10	27.10.2021	L&EC Submission	WG	WG
11	01.11.2023	Draft S4.55 Modification	DC	DC
12	03.11.2023	S4.55 Modification	DC	JT
13	13.12.2023	S4.55 Modification	DC	JT
14	25.01.2024	S4.55 Modification	DC	JT
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16	12.03.2024	S4.55 Modification	DC	JT



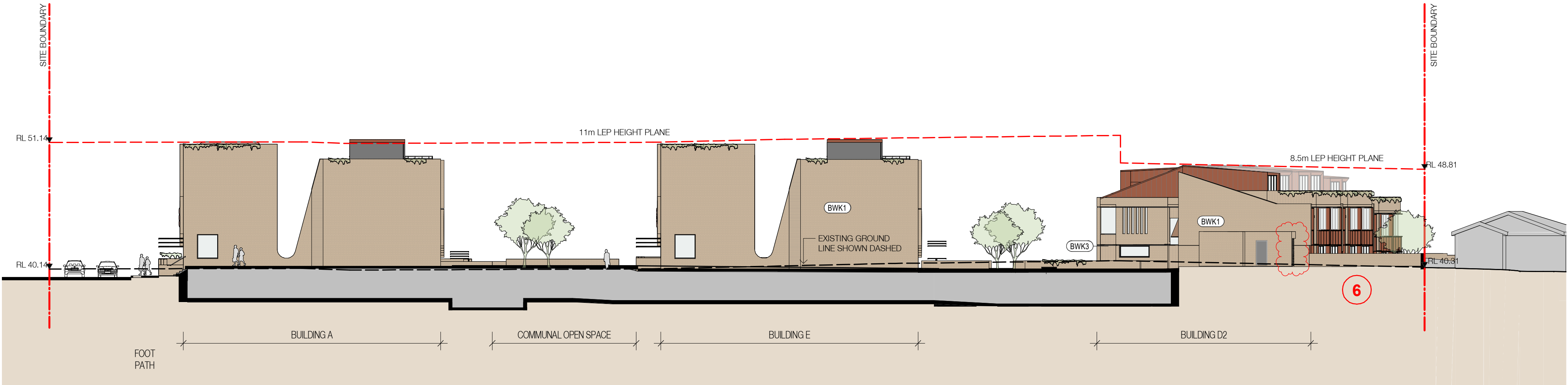
Building B & C East Height Plane Cut

S4.55 AMENDMENT SCHEDULE

- INTERNAL LAYOUT CHANGES
- FACADE CHANGES
- ADDITIONAL GFA ADDED
- COMMUNAL OPEN SPACES AND LANDSCAPE DESIGN UPDATES
- COMMUNAL POOL AND ASSOCIATED STRUCTURES / SERVICES ADDED
- MECHANICAL SUPPLY/EXHAUST SHAFTS ADDED FOR BASEMENT VENTILATION
- BASEMENT PARKING AMENDED
- LIFT LOBBY ROOF AMENDED
- UPDATED OSD TANK SIZE
- REVISED ROOF DESIGN
- UPDATED BASEMENT SERVICES & WASTE SPATIALS

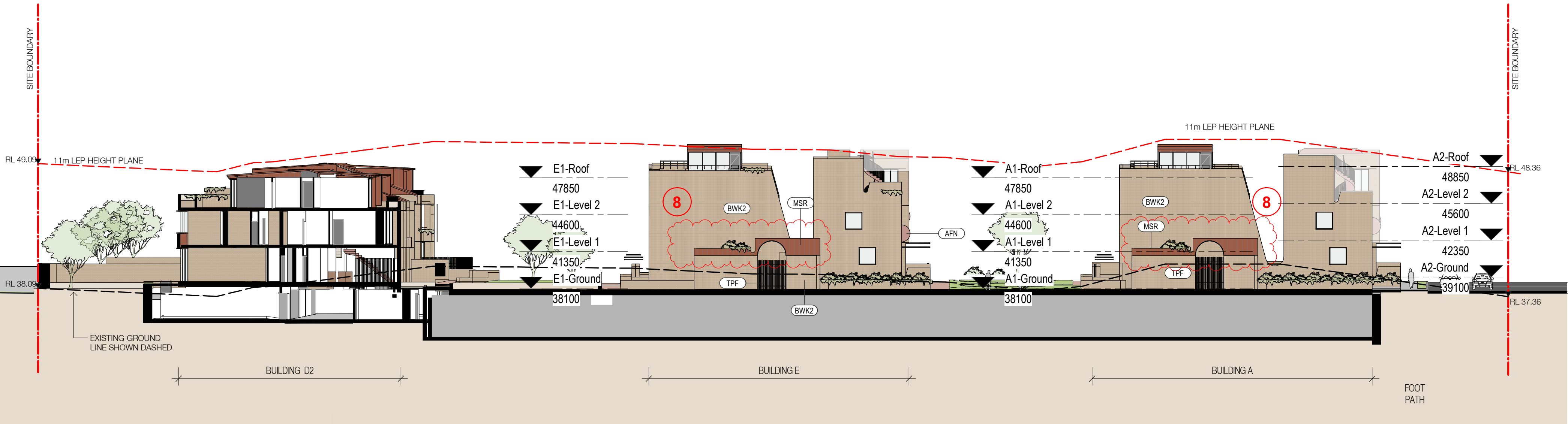
NOTE: MINOR CHANGES TO FORM AND CONFIGURATION MAY BE REQUIRED WHEN DRAWINGS ARE SUBSEQUENTLY PREPARED FOR CONSTRUCTION PURPOSES AFTER THE GRANT OF DEVELOPMENT CONSENT

- D2-Roof 46700
- D2-Level2 43500
- D2-Level1 40250
- D2-Ground 37000



Building A & E East Height Plane Cut

- D2-Roof 46700
- D2-Level2 43500
- D2-Level1 40250
- D2-Ground 37000



Building A & E West Height Plane Cut

Materials Legend

- AFW Aluminium Framed Window
- AFN Aluminium Fin
- BWK Face Brickwork
- (1) Stretcher Course
- (2) Soldier Course
- (3) Stack Course
- MB Metal Balustrade
- MSR Metal Sheet Roof
- RC Concrete Structure
- SIL Concrete Sill + Handrail
- TFW Timber Framed Window/Door
- TPF Timber Palisade Fence/Gate
- TP Timber Infill Panel (to match TFW)

Client

Coronation Property

Project

ASHBURY STAGE 2

149-163 MILTON STREET
ASHBURY NSW 2193

Drawing Name

Elevations - Internal Sheet 2

Date 12.03.2024 Scale As indicated Sheet Size @ A1

Drawn DC Chk. JT

Job No. 6839 Drawing No. DA-0504 Revision / 16

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10	01.11.2023	Draft S4.55 Modification	DC	DC
11	03.11.2023	S4.55 Modification	DC	JT
12	13.12.2023	S4.55 Modification	DC	JT
13	07.02.2024	S4.55 Modification	DC	JT
14	12.03.2024	S4.55 Modification	DC	JT

Building F West Height Plane Cut



Building D & F1 South Height Plane Cut

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S4.55 AMENDMENT SCHEDULE

- INTERNAL LAYOUT CHANGES
- FACADE CHANGES
- ADDITIONAL GFA ADDED
- COMMUNAL OPEN SPACES AND LANDSCAPE DESIGN UPDATES
- COMMUNAL POOL AND ASSOCIATED STRUCTURES / SERVICES ADDED
- MECHANICAL SUPPLY/EXHAUST SHAFTS ADDED FOR BASEMENT VENTILATION
- BASEMENT PARKING AMENDED
- LIFT LOBBY ROOF AMENDED
- UPDATED OSD TANK SIZE
- REVISED ROOF DESIGN
- UPDATED BASEMENT SERVICES & WASTE SPATIALS

Client

Coronation Property

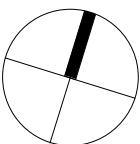
Project

ASHBURY STAGE 2

149-163 MILTON STREET
ASHBURY NSW 2193

Drawing Name

Elevations - Internal Sheet 3



Date 12.03.2024 Scale As indicated Sheet Size @ A1

Drawn DC Chk. JT

Job No. 6839 Drawing No. DA-0505 Revision / 14

Materials Legend

AFW Aluminium Framed Window
AFN Aluminium Fin
BWK Face Brickwork

(1) Stretcher Course
(2) Soldier Course
(3) Stack Course

MB Metal Balustrade

MSR Metal Sheet Roof

RC Concrete Structure

SIL Concrete Sill + Handrail

TFW Timber Framed Window/Door

TFE Timber Palisade Fence/Gate

TP Timber Infill Panel (to match TFW)

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Nominated Architects: Adam Haddow-7188 | John Pradel-7004

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5	26.08.2021	Co-ordination	WG	WG
6	08.08.2021	L&EC Submission	BM	WG
7	18.09.2021	L&EC Submission	BM	AG
8	27.10.2021	L&EC Submission	WG	WG
9	01.11.2021	Draft SA S45 Modification	DC	DC
10	03.11.2021	SA S45 Modification	DC	JT
11	13.12.2023	SA S45 Modification	DC	JT
12	07.02.2024	SA S45 Modification	DC	JT
13	12.03.2024	SA S45 Modification	DC	JT

NOTE: MINOR CHANGES TO FORM AND CONFIGURATION
MAY BE REQUIRED WHEN DRAWINGS ARE SUBSEQUENTLY
PREPARED FOR CONSTRUCTION PURPOSES AFTER THE
GRANT OF DEVELOPMENT CONSENT

Architectural section drawing showing buildings B, F, and G. The drawing includes elevations, setbacks, and various height planes. A list of revisions is provided on the right.

Revisions:

- LIFT LOBBY ROOF AMENDED
- UPDATED OSD TANK SIZE
- REVISED ROOF DESIGN
- UPDATED BASEMENT SERVICES & WASTE SPATIALS

Building B Details:

- 9000 Setback
- 6M DCP SETBACK
- Existing ground level retained within TPZ (refer Arborist report)
- Existing ground level shown dashed
- RL 31.710
- 21m LEP HEIGHT PLANE
- 11m LEP HEIGHT PLANE
- 8.5m LEP HEIGHT PLANE
- LINE OF SIGHT

Building F Details:

- 7000 Setback
- 2200
- 3000
- 4000
- LINE OF SIGHT

Building G Details:

- 2200
- 3000
- 4000
- LINE OF SIGHT

Elevations and Levels:

- B-Roof: 57850
- B-Level 5: 54600
- B-Level 4: 51450
- B-Level 3: 48300
- B-Level 2: 45150
- B-Level 1: 42000
- B-Ground: 37300
- Basement: 31710
- F2-Roof: 47550
- F2-Level 1: 44350
- F2-Ground: 41100
- F2-Basement: 37250

Other Labels:

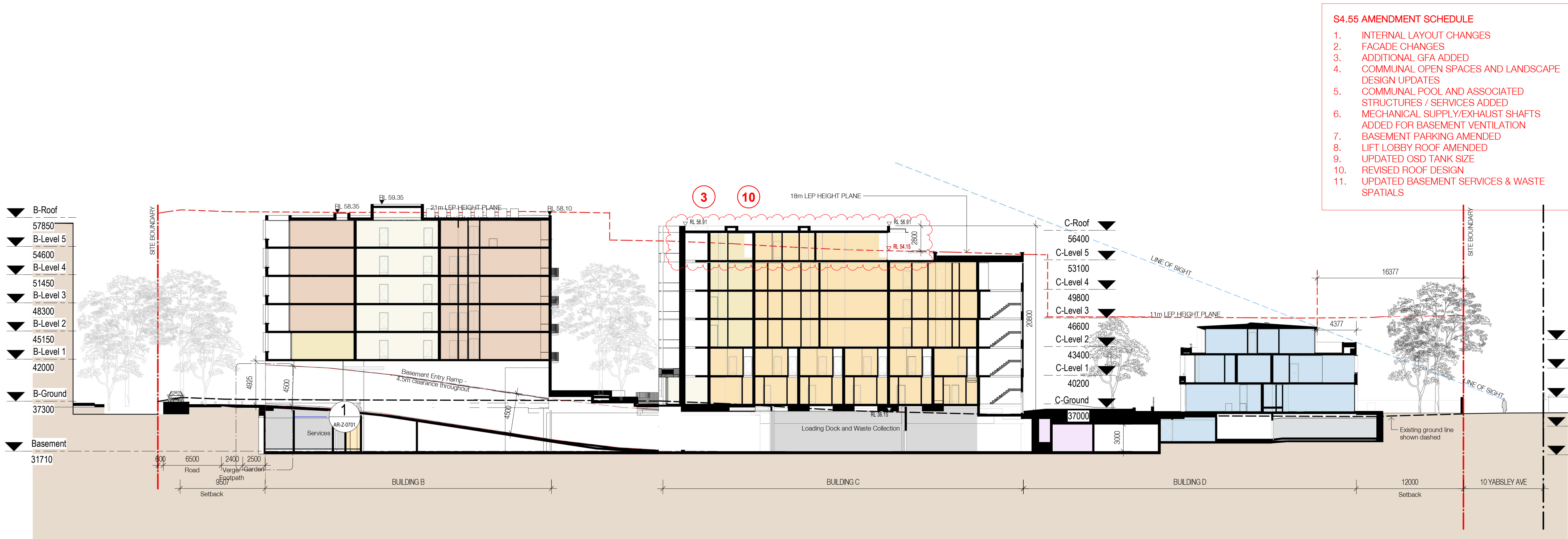
- W H WAGENER OVAL
- MILTON STREET
- 9000
- 6000
- 9000
- 7000

Architectural section drawing of a multi-story building complex, showing various levels, setbacks, and height planes. The drawing includes labels for 'C-Roof', 'C-Level 5', 'C-Level 4', 'C-Level 3', 'C-Level 2', 'C-Level 1', 'C-Ground', 'Basement', 'E1-Roof', 'E1-Level 2', 'E1-Level 1', 'E1-Ground', 'E-Basement', 'F1-Roof', 'F1-Level 1', 'F1-Ground', and 'F1-Basement'. It also shows '18m LEP HEIGHT PLANE', '11m LEP HEIGHT PLANE', and '8.5m LEP HEIGHT PLANE'. A 'LINE OF SIGHT' is indicated. The drawing is dated 'AR-Z-0701' and includes a '5' in a circle.

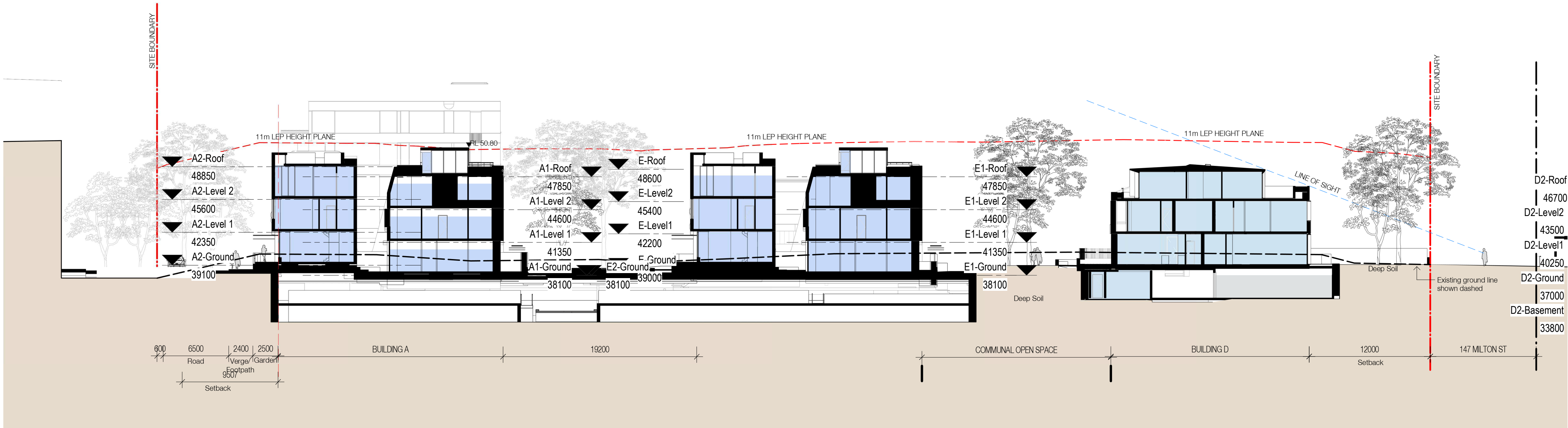
Section C

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Section D



Section E

- S4.55 AMENDMENT SCHEDULE**
- INTERNAL LAYOUT CHANGES
 - FACADE CHANGES
 - ADDITIONAL GFA ADDED
 - COMMUNAL OPEN SPACES AND LANDSCAPE DESIGN UPDATES
 - COMMUNAL POOL AND ASSOCIATED STRUCTURES / SERVICES ADDED
 - MECHANICAL SUPPLY/EXHAUST SHAFTS ADDED FOR BASEMENT VENTILATION
 - BASEMENT PARKING AMENDED
 - LIFT LOBBY ROOF AMENDED
 - UPDATED OSD TANK SIZE
 - REVISED ROOF DESIGN
 - UPDATED BASEMENT SERVICES & WASTE SPATIALS

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Nominated Architects: Adam Haddow-7188 | John Pradel-7004

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7	18.09.2021	L&EC Submission	BM	AH
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11	13.12.2023	S4.55 Modification	DC	JT
12	07.02.2024	S4.55 Modification	DC	JT
13	12.03.2024	S4.55 Modification	DC	JT

D1-Roof
44200
D1-Level2
41000
D1-Level1
37750
D1-Ground
34500
D1-Basement
31300

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Client

Coronation Property

Project

ASHBURY STAGE 2

**149-163 MILTON STREET
ASHBURY NSW 2193**

Drawing Name

Sections - Sheet 2

Date Scale Sheet Size

12.03.2024 As indicated @ A1

Drawn Chk.

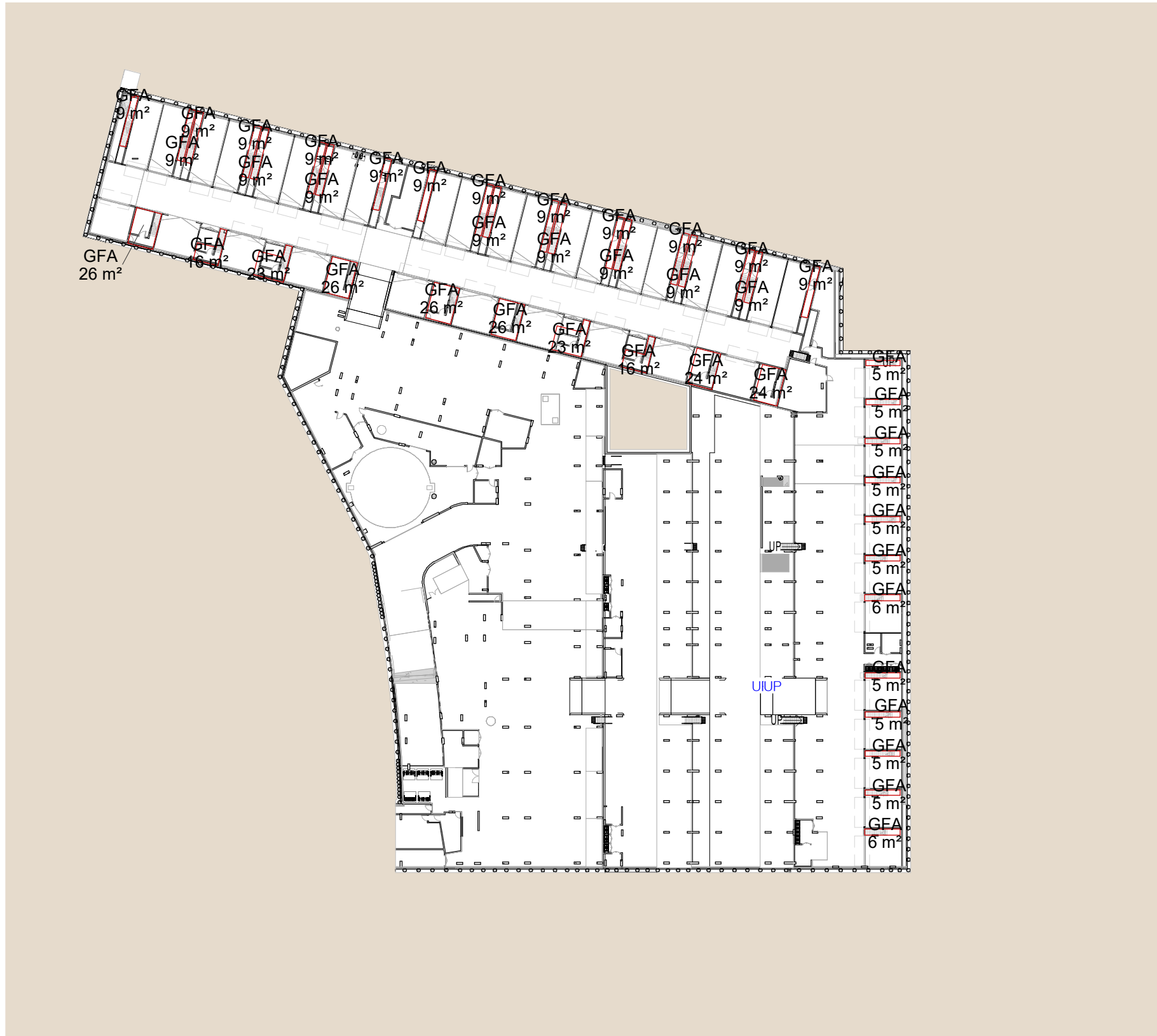
DC JT

Job No. Drawing No. Revision

6839 DA-0602 / 13

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Basement

BASEMENT GFA = 472m²



GFA - Ground

GROUND GFA = 4,998m²



GFA - Level 1

LEVEL 1 GFA = 4,915m²

ALLOWABLE FSR 1.1:1
SITE AREA 16,220m²
ALLOWABLE GFA 17,842m²
PROPOSED GFA 17,841m²
PROPOSED FSR: 1.1:1

3



GFA - Level 2

LEVEL 2 GFA = 3,500m²

S4.55 AMENDMENT SCHEDULE

- INTERNAL LAYOUT CHANGES
- FACADE CHANGES
- ADDITIONAL GFA ADDED
- COMMUNAL OPEN SPACES AND LANDSCAPE DESIGN UPDATES
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3	29.06.2020	For Review	WG	WG
4	18.08.2020	For Information	JS	WG
5	27.08.2020	For DA	JS	WG
6	26.08.2021	Co-ordination	WG	WG
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Client

Coronation Property

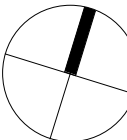
Project

ASHBURY STAGE 2

149-163 MILTON STREET
ASHBURY NSW 2193

Drawing Name

GFA Plan



Date 12.03.2024 Scale As indicated Sheet Size @ A1

Drawn DC Chk. JT

Job No. 6839 Drawing No. DA-2901 Revision / 13

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ALLOWABLE FSR	1.1:1
SITE AREA	16,220m ²
ALLOWABLE GFA	17,842m ²
PROPOSED GFA	17,841m ²
PROPOSED FSR:	1.1:1

3

S4.55 AMENDMENT SCHEDULE

- INTERNAL LAYOUT CHANGES
- FACADE CHANGES
- ADDITIONAL GFA ADDED
- COMMUNAL OPEN SPACES AND LANDSCAPE DESIGN UPDATES
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- BASEMENT PARKING AMENDED
- LIFT LOBBY ROOF AMENDED
- UPDATED OSD TANK SIZE
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8	03.11.2023	S4.55 Modification	DC	JT
9	13.12.2023	S4.55 Modification	DC	JT
10	12.03.2024	S4.55 Modification	DC	JT

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Client

Coronation Property

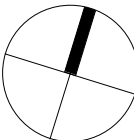
Project

ASHBURY STAGE 2

149-163 MILTON STREET
ASHBURY NSW 2193

Drawing Name

GFA Plan



Date 12.03.2024 Scale As indicated Sheet Size @ A1

Drawn DC Chk. JT

Job No. 6839 Drawing No. DA-2902 Revision / 10

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BUILDING A

Unit	Type	Occupancy	Solar	Cross Vent	Internal Area	External Area
A.T.01	TR-T01	3 BED+ST TR	15 MINUTES	COMPLIANT	128 m²	44 m²
A.T.02	TR-T01	3 BED+ST TR	LESS THAN 15 MINS	COMPLIANT	128 m²	44 m²
A.T.03	TR-T01	3 BED+ST TR	LESS THAN 15 MINS	COMPLIANT	134 m²	43 m²
A.T.04	TR-T01	3 BED+ST TR	2 HOURS	COMPLIANT	127 m²	50 m²
A.T.05	TR-T02	3 BED+ST TR	2 HOURS	COMPLIANT	129 m²	47 m²
A.T.06	TR-T02	3 BED+ST TR	2 HOURS	COMPLIANT	130 m²	47 m²
A.T.07	TR-T02	3 BED+ST TR	2 HOURS	COMPLIANT	130 m²	47 m²
A.T.08	TR-T02	3 BED+ST TR	2 HOURS	COMPLIANT	130 m²	47 m²
A.T.09	TR-T02	3 BED+ST TR	2 HOURS	COMPLIANT	130 m²	47 m²
A.T.10	TR-T02	3 BED+ST TR	2 HOURS	COMPLIANT	130 m²	47 m²

BUILDING B

Unit	Type	Occupancy	Solar	Cross Vent	Internal Area	External Area
B.0.01	3 BED	3 BED	2 HOURS	COMPLIANT	131 m²	36 m²
B.0.02	3 BED	3 BED	15 MINUTES	COMPLIANT	131 m²	40 m²
B.0.03	3 BED	3 BED	2 HOURS		182 m²	48 m²
B.0.04	1 BED	1 BED	15 MINUTES		74 m²	43 m²
B.1.01	3 BED	3 BED	2 HOURS	COMPLIANT	131 m²	14 m²
B.1.02	3 BED	3 BED	15 MINUTES	COMPLIANT	131 m²	14 m²
B.1.03	1 BED	1 BED	15 MINUTES	COMPLIANT	54 m²	10 m²
B.1.04	3 BED	3 BED	2 HOURS	COMPLIANT	136 m²	12 m²
B.1.05	3 BED	3 BED	15 MINUTES	COMPLIANT	133 m²	15 m²
B.1.06	2 BED	2 BED	15 MINUTES	COMPLIANT	80 m²	10 m²
B.2.01	3 BED	3 BED	2 HOURS	COMPLIANT	131 m²	14 m²
B.2.02	3 BED	3 BED	2 HOURS	COMPLIANT	131 m²	14 m²
B.2.03	2 BED	2 BED	LESS THAN 15 MINS		75 m²	10 m²
B.2.04	3 BED	3 BED	2 HOURS	COMPLIANT	136 m²	12 m²
B.2.05	3 BED	3 BED	15 MINUTES	COMPLIANT	133 m²	15 m²
B.2.06	2 BED	2 BED	2 HOURS	COMPLIANT	80 m²	10 m²
B.3.01	3 BED	3 BED	2 HOURS	COMPLIANT	131 m²	14 m²
B.3.02	3 BED	3 BED	2 HOURS	COMPLIANT	131 m²	14 m²
B.3.03	2 BED	2 BED	LESS THAN 15 MINS		75 m²	10 m²
B.3.04	3 BED	3 BED	2 HOURS	COMPLIANT	136 m²	12 m²
B.3.05	3 BED	3 BED	2 HOURS	COMPLIANT	133 m²	15 m²
B.3.06	2 BED	2 BED	2 HOURS	COMPLIANT	80 m²	10 m²
B.4.01	3 BED	3 BED	2 HOURS	COMPLIANT	123 m²	14 m²
B.4.02	3 BED	3 BED	2 HOURS	COMPLIANT	121 m²	41 m²
B.4.03	2 BED	2 BED	LESS THAN 15 MINS		75 m²	10 m²
B.4.04	3 BED	3 BED	2 HOURS	COMPLIANT	136 m²	12 m²
B.4.05	3 BED	3 BED	2 HOURS	COMPLIANT	134 m²	16 m²
B.4.06	2 BED	2 BED	2 HOURS	COMPLIANT	80 m²	10 m²
B.5.01	2 BED	2 BED	2 HOURS	COMPLIANT	75 m²	10 m²
B.5.02	3 BED	3 BED	2 HOURS	COMPLIANT	136 m²	12 m²
B.5.03	3 BED	3 BED	2 HOURS	COMPLIANT	109 m²	37 m²
B.5.04	2 BED	2 BED	2 HOURS	COMPLIANT	80 m²	10 m²

BUILDING C

Unit	Type	Occupancy	Solar	Cross Vent	Internal Area	External Area
C.0.02	3B-T01	3 BED	2 HOURS	COMPLIANT	177 m²	78 m²
C.0.03	3B-T01	3 BED	2 HOURS	COMPLIANT	127 m²	54 m²
C.0.04	3B-T01	3 BED	2 HOURS	COMPLIANT	125 m²	55 m²
C.0.05	3B-T01	3 BED	2 HOURS	COMPLIANT	125 m²	55 m²
C.0.06	3B-T01	3 BED	2 HOURS	COMPLIANT	125 m²	55 m²
C.0.07	3B-T01	3 BED	15 MINUTES	COMPLIANT	140 m²	61 m²
C.0.08	3 BED	3 BED	15 MINUTES	COMPLIANT	134 m²	41 m²
C.0.09	2 BED	2 BED	2 HOURS	COMPLIANT	109 m²	34 m²
C.1.01	2 BED	2 BED	2 HOURS	COMPLIANT	97 m²	12 m²
C.1.02	1 BED	1 BED	2 HOURS		59 m²	10 m²
C.1.03	1 BED	1 BED	2 HOURS		56 m²	12 m²
C.1.04	2 BED	2 BED	2 HOURS	COMPLIANT	110 m²	14 m²
C.1.05	3 BED	3 BED	15 MINUTES	COMPLIANT	136 m²	14 m²
C.2.01	2 BED	2 BED	2 HOURS	COMPLIANT	98 m²	12 m²
C.2.02	1 BED	1 BED	2 HOURS		59 m²	10 m²
C.2.03	1 BED	1 BED	2 HOURS		56 m²	10 m²
C.2.04	2 BED	2 BED	2 HOURS	COMPLIANT	110 m²	14 m²
C.2.05	3 BED	3 BED	2 HOURS	COMPLIANT	136 m²	14 m²
C.2.06	1 BED	1 BED	15 MINUTES	COMPLIANT	50 m²	8 m²
C.2.07	3 BED	3 BED	15 MINUTES		129 m²	12 m²
C.2.08	3 BED	3 BED	2 HOURS	COMPLIANT	128 m²	21 m²
C.3.01	2 BED	2 BED	2 HOURS	COMPLIANT	98 m²	12 m²
C.3.02	1 BED	1 BED	2 HOURS		59 m²	10 m²
C.3.03	1 BED	1 BED	2 HOURS		56 m²	10 m²
C.3.04	1 BED	1 BED	15 MINUTES	COMPLIANT	50 m²	8 m²
C.3.05	3 BED	3 BED	15 MINUTES		129 m²	12 m²
C.3.06	3 BED	3 BED	2 HOURS	COMPLIANT	128 m²	21 m²
C.3.07	3 BED	3 BED	2 HOURS	COMPLIANT	141 m²	35 m²
C.3.08	3 BED	3 BED	2 HOURS	COMPLIANT	137 m²	53 m²
C.4.01	2 BED	2 BED	2 HOURS	COMPLIANT	98 m²	13 m²
C.4.02	1 BED	1 BED	2 HOURS		59 m²	10 m²
C.4.03	1 BED	1 BED	2 HOURS		57 m²	10 m²
C.4.04	1 BED	1 BED	15 MINUTES	COMPLIANT	50 m²	7 m²
C.4.05	3 BED	3 BED	15 MINUTES		129 m²	12 m²
C.4.06	3 BED	3 BED	2 HOURS	COMPLIANT	127 m²	22 m²
C.5.01	3 BED	3 BED	2 HOURS	COMPLIANT	125 m²	61 m²
C.5.02	1 BED	1 BED	2 HOURS	COMPLIANT	56 m²	10 m²
C.5.03	1 BED	1 BED	2 HOURS	COMPLIANT	49 m²	8 m²
C.5.04	3 BED	3 BED	2 HOURS	COMPLIANT	133 m²	62 m²

BUILDING D

Unit	Type	Occupancy	Solar	Cross Vent	Internal Area	External Area
D.T.01	TR-T03	3 BED TR	2 HOURS	COMPLIANT	153 m²	14 m²
D.T.02	TR-T04	3 BED TR	2 HOURS	COMPLIANT	147 m²	33 m²
D.T.03	TR-T03	3 BED TR	2 HOURS	COMPLIANT	153 m²	14 m²
D.T.04	TR-T03	3 BED TR	2 HOURS	COMPLIANT	151 m²	81 m²
D.T.05	TR-T04	3 BED TR	LESS THAN 15 MINS	COMPLIANT	137 m²	34 m²
D.T.06	TR-T03	3 BED TR	2 HOURS	COMPLIANT	153 m²	78 m²
D.T.07	TR-T03	3 BED TR	2 HOURS	COMPLIANT	148 m²	78 m²
D.T.08	TR-T04	3 BED TR	LESS THAN 15 MINS	COMPLIANT	137 m²	38 m²
D.T.09	TR-T03	3 BED TR	2 HOURS	COMPLIANT	151 m²	78 m²
D.T.10	TR-T03	3 BED TR	2 HOURS	COMPLIANT	151 m²	78 m²
D.T.11	TR-T04	3 BED TR	15 MINUTES	COMPLIANT	149 m²	35 m²
D.T.12	TR-T03	3 BED TR	2 HOURS	COMPLIANT	145 m²	140 m²
D.T.13	TR-T03	3 BED TR	2 HOURS	COMPLIANT	138 m²	64 m²
D.T.14	TR-T04	3 BED TR	<varies>	COMPLIANT	150 m²	24 m²
D.T.15	TR-T03	3 BED TR	2 HOURS	COMPLIANT	146 m²	68 m²
D.T.16	TR-T03	3 BED TR	2 HOURS	COMPLIANT	149 m²	82 m²
D.T.17	TR-T04	3 BED TR	LESS THAN 15 MINS	COMPLIANT	139 m²	34 m²
D.T.18	TR-T03	3 BED TR	2 HOURS	COMPLIANT	149 m²	82 m²
D.T.19	TR-T03	3 BED TR	2 HOURS	COMPLIANT	141 m²	82 m²
D.T.20	TR-T04	3 BED TR	LESS THAN 15 MINS	COMPLIANT	129 m²	34 m²
D.T.21	TR-T03	3 BED TR	2 HOURS	COMPLIANT	151 m²	80 m²
D.T.22	TR-T03	3 BED TR	2 HOURS	COMPLIANT	149 m²	78 m²
D.T.23	TR-T04	3 BED TR	LESS THAN 15 MINS	COMPLIANT	144 m²	34 m²
D.T.24	TR-T03	3 BED TR	2 HOURS	COMPLIANT	105 m²	78 m²
D.T.25	TR-T03	3 BED TR	2 HOURS	COMPLIANT	151 m²	14 m²
D.T.26	TR-T04	3 BED TR	LESS THAN 15 MINS	COMPLIANT	156 m²	25 m²
D.T.27	TR-T03	3 BED TR	2 HOURS	COMPLIANT	152 m²	14 m²
D.T.28	TR-T03	3 BED TR	2 HOURS	COMPLIANT	150 m²	78 m²
D.T.29	TR-T04	3 BED TR	LESS THAN 15 MINS	COMPLIANT	156 m²	34 m²
D.T.30	TR-T03	3 BED TR	2 HOURS	COMPLIANT	153 m²	78 m²

BUILDING E

Unit	Type	Occupancy	Solar	Cross Vent	Internal Area	External Area
E.T.01	TR-T01	3 BED+ST TR	15 MINUTES	COMPLIANT	133 m²	0 m²
E.T.02	TR-T01	3 BED+ST TR	LESS THAN 15 MINS	COMPLIANT	139 m²	25 m²
E.T.03	TR-T01	3 BED+ST TR	LESS THAN 15 MINS	COMPLIANT	145 m²	28 m²
E.T.04	TR-T01	3 BED+ST TR	2 HOURS	COMPLIANT	127 m²	26 m²
E.T.05	TR-T02	3 BED+ST TR	2 HOURS	COMPLIANT	140 m²	45 m²
E.T.06	TR-T02	3 BED+ST TR	2 HOURS	COMPLIANT	140 m²	22 m²
E.T.07	TR-T02	3 BED+ST TR	2 HOURS	COMPLIANT	140 m²	45 m²
E.T.08	TR-T02	3 BED+ST TR	2 HOURS	COMPLIANT	140 m²	22 m²
E.T.09	TR-T02	3 BED+ST TR	2 HOURS	COMPLIANT	140 m²	22 m²
E.T.10	TR-T02	3 BED+ST TR	2 HOURS	COMPLIANT	140 m²	21 m²

BUILDING F

Unit	Type	Occupancy	Solar	Cross Vent	Internal Area	External Area
F.T.02	TR-T05	3 BED TR	2 HOURS	COMPLIANT	128 m²	68 m²
F.T.03	TR-T05	3 BED TR	2 HOURS	COMPLIANT	126 m²	56 m²
F.T.04	TR-T05	3 BED TR	2 HOURS	COMPLIANT	125 m²	72 m²
F.T.05	TR-T05	3 BED TR	2 HOURS	COMPLIANT	126 m²	77 m²
F.T.06	TR-T05	3 BED TR	2 HOURS	COMPLIANT	126 m²	75 m²
F.T.07	TR-T05	3 BED TR	2 HOURS	COMPLIANT	128 m²	72 m²
F.T.08	TR-T05	3 BED TR	2 HOURS	COMPLIANT	130 m²	77 m²
F.T.09	TR-T05	3 BED TR	2 HOURS	COMPLIANT	125 m²	73 m²
F.T.10	TR-T05	3 BED TR	2 HOURS	COMPLIANT	123 m²	68 m²
F.T.11	TR-T05	3 BED TR	2 HOURS	COMPLIANT	123 m²	75 m²
F.T.12	TR-T05	3 BED TR	2 HOURS	COMPLIANT	125 m²	72 m²
F.T.13	TR-T05	3 BED TR	2 HOURS	COMPLIANT	121 m²	73 m²

SUMMARY

Count	Occupancy
15	1 BED
16	2 BED
40	3 BED
42	3 BED TR
20	3 BED+ST TR
Grand total: 133	

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Nominated Architects: Adam Haddow-7188 | John Pradel-7004


FOR INFORMATION

Rev	Date	Revision	By	Chk.
1	05.05.2020	Preliminary - DA Set 20%	JS	WG
2	18.05.2020	Preliminary - DA Set 40%	JS	WG
3	29.06.2020	For Review	WG	WG
4	28.07.2020	For Coordination	JS	WG
5	18.08.2020	For Information	JS	WG
6	27.08.2020	For DA	JS	WG
7	30.08.2021	L&EC Submission	BM	WG
8	02.12.2021	For Information + Review	WG	WG
9	13.12.2023	S4.55 Modification	DC	JT
10	12.03.2024	S4.55 Modification	DC	JT

NOTE: MINOR CHANGES TO FORM AND CONFIGURATION MAY BE REQUIRED WHEN DRAWINGS ARE SUBSEQUENTLY PREPARED FOR CONSTRUCTION PURPOSES AFTER THE GRANT OF DEVELOPMENT CONSENT

Planning & Heritage
Urbis
Landscape Architect
Arcadia Landscape Architecture
BCA
Building Certificates Australia
Services, Hydraulic & BASIX
Integrated Group Services
Civil & Geotech
EI Australia
Traffic
Ason Group
Waste Management
Elephant's Foot Waste Compactors
Arborist
Naturally Trees
Access Consultant
Jensen Hughes
Client

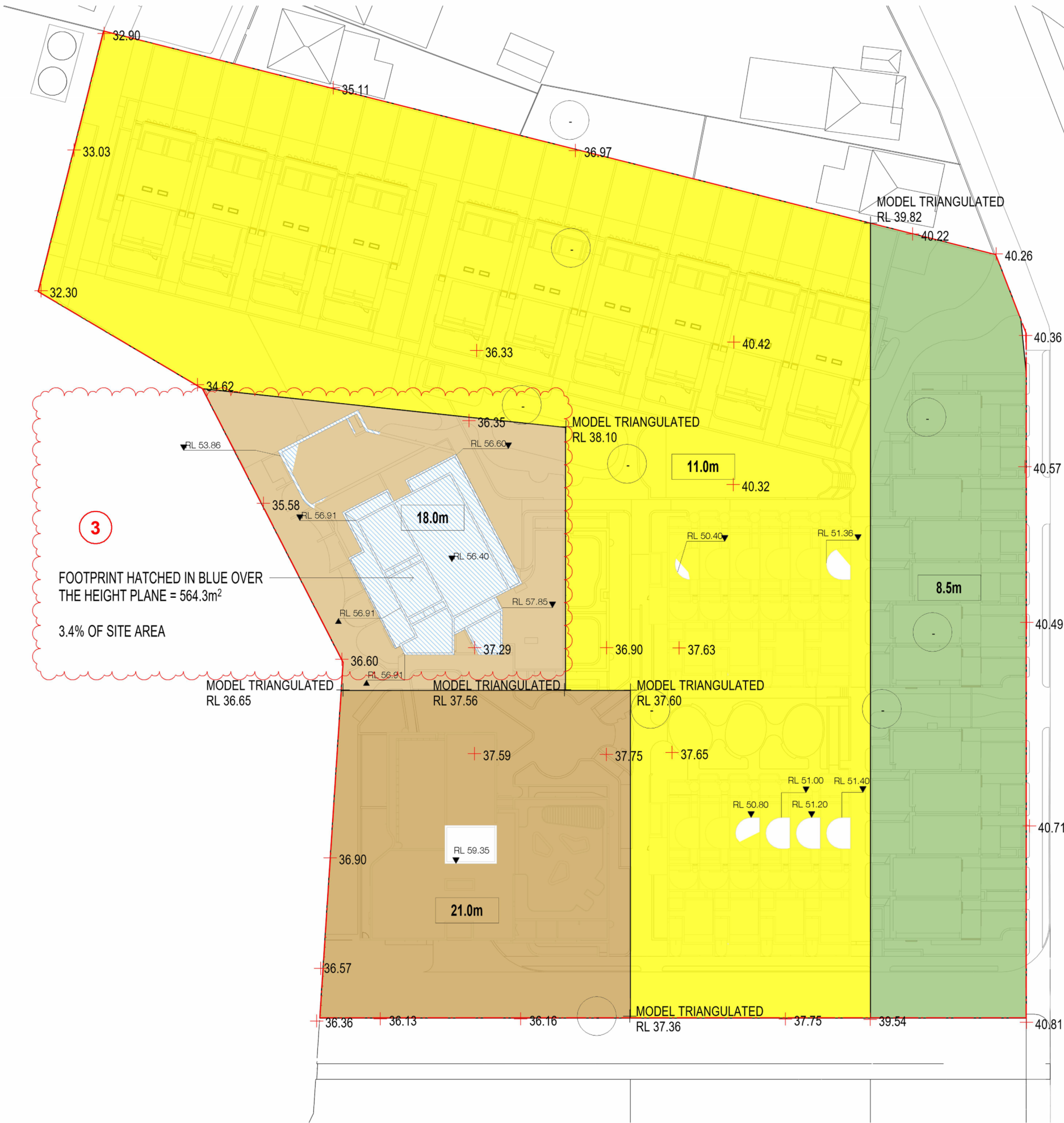
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ASHBURY STAGE 2		
149-163 MILTON STREET ASHBURY NSW 2193		
Drawing Name		
Schedules		
Date	Scale	Sheet Size
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Drawn	Chk.	
DC	JT	
Job No.	Drawing No.	Revision
6839	DA-2903	/ 10
<div>SJB Architects Level 2 490 Crown Street Surry Hills NSW 2010 Australia T 61 2 9380 9911 F 61 2 9380 9922 www.sjb.com.au</div> <div></div>		

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Rev	Date	Revision	By	Chk.
1	08.05.2020	Preliminary - DA Set 20%	JS	WG
2	18.05.2020	Preliminary - DA Set 40%	JS	WG
3	27.08.2020	For DA	JS	WG
4	17.03.2021	For DA - Additional Information	JS	WG
5	15.07.2021	Issued for Section34	WG	WG
6	16.07.2021	Issued for Planning Panel	WG	WG
7	30.08.2021	L&EC Submission	BM	WG
8	18.09.2021	L&EC Submission	BM	AH
9	01.11.2023	Draft S4.55 Modification	DC	DC
10	03.11.2023	S4.55 Modification	DC	JT
11	04.12.2023	Draft S4.55 Modification	DC	JT
12	13.12.2023	S4.55 Modification	DC	JT

NOTE: MINOR CHANGES TO FORM AND CONFIGURATION MAY BE REQUIRED WHEN DRAWINGS ARE SUBSEQUENTLY PREPARED FOR CONSTRUCTION PURPOSES AFTER THE GRANT OF DEVELOPMENT CONSENT



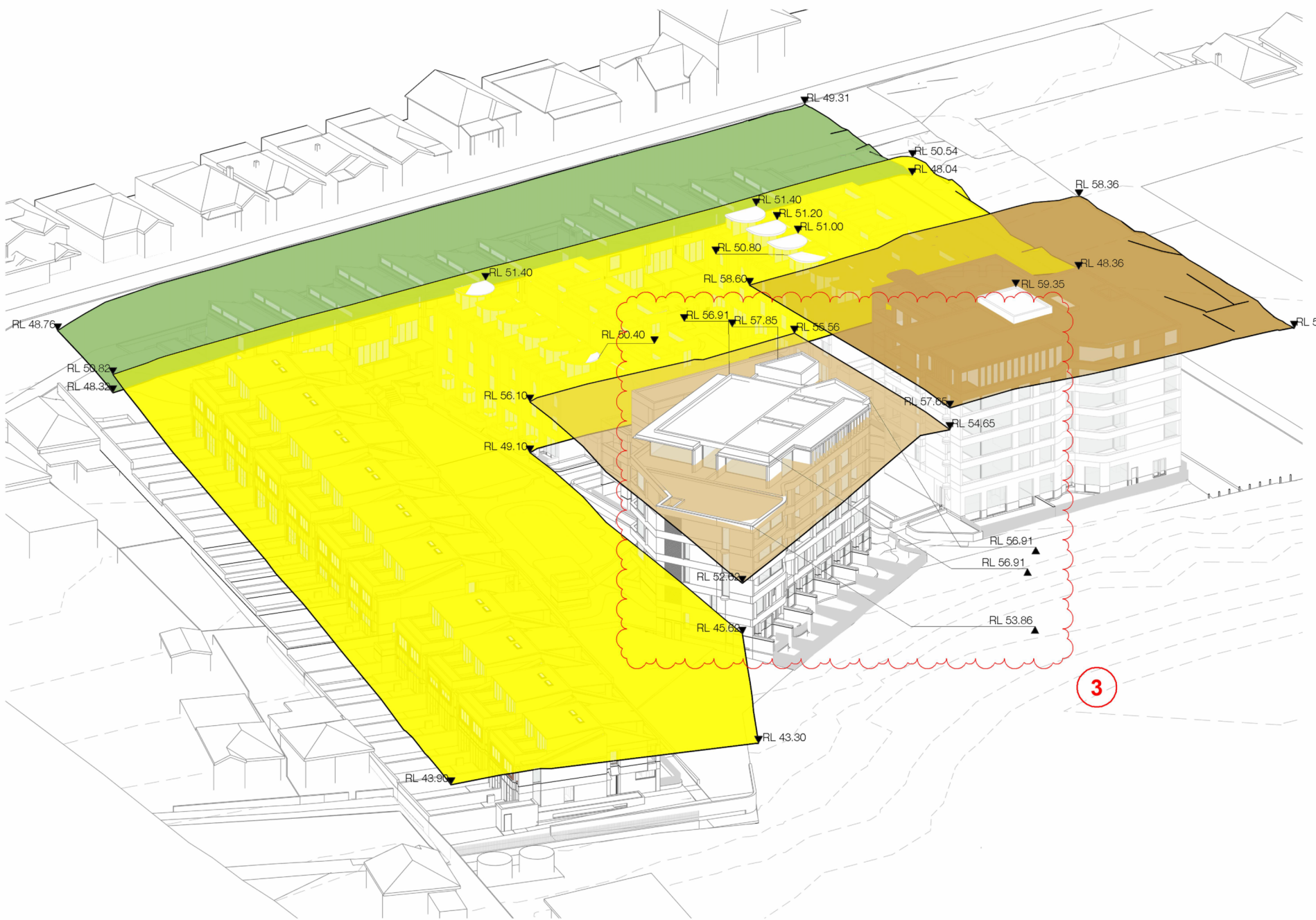
LEP Maximum Building Heights

NOTE: BUILDING A,B & E HEIGHT BREACHES ARE SUBJECT TO ASSESSMENT UNDER A PREVIOUS S4.55 MODIFICATION

S4.55 AMENDMENT SCHEDULE

- INTERNAL APARTMENT LAYOUT CHANGES
- FACADE CHANGES
- ADDITIONAL GFA ADDED
- COMMUNAL OPEN SPACES AND LANDSCAPE DESIGN UPDATES
- COMMUNAL POOL AND ASSOCIATED STRUCTURES / SERVICES ADDED
- MECHANICAL SUPPLY/EXHAUST SHAFTS ADDED FOR BASEMENT VENTILATION
- BASEMENT PARKING AMENDED
- LIFT LOBBY ROOF AMENDED
- UPDATED OSD TANK SIZE
- REVISED ROOF DESIGN
- UPDATED BASEMENT SERVICES & WASTE SPATIALS

LEP AXO 01



LEP AXO 02

Client

Coronation Property

Project

ASHBURY STAGE 2

149-163 MILTON STREET
ASHBURY NSW 2193

Drawing Name

LEP Height Plane Compliance

Date

13.12.2023

Scale

As indicated

Sheet Size

@ A1

Drawn

DC

Chk.

JT

Job No.

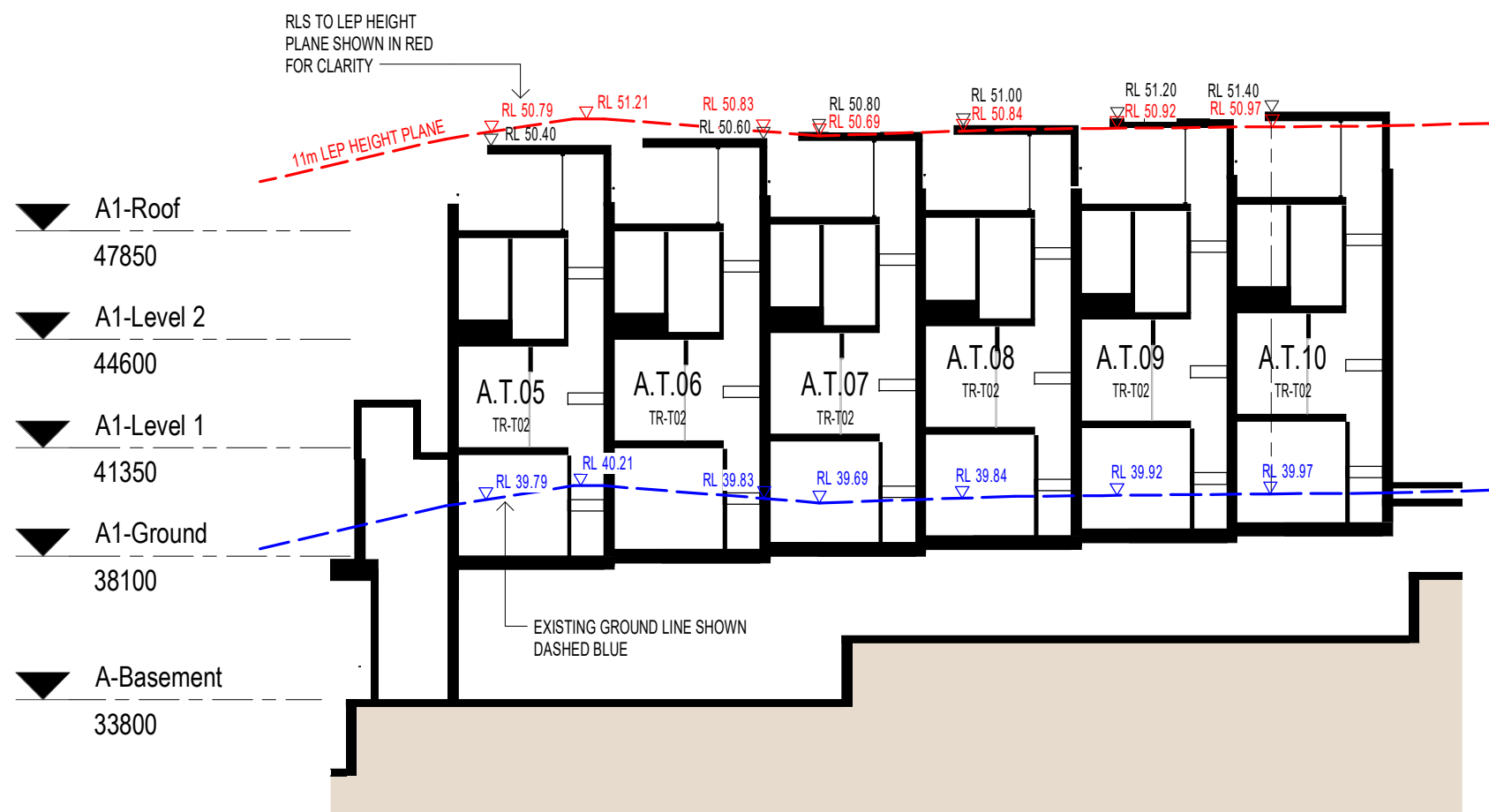
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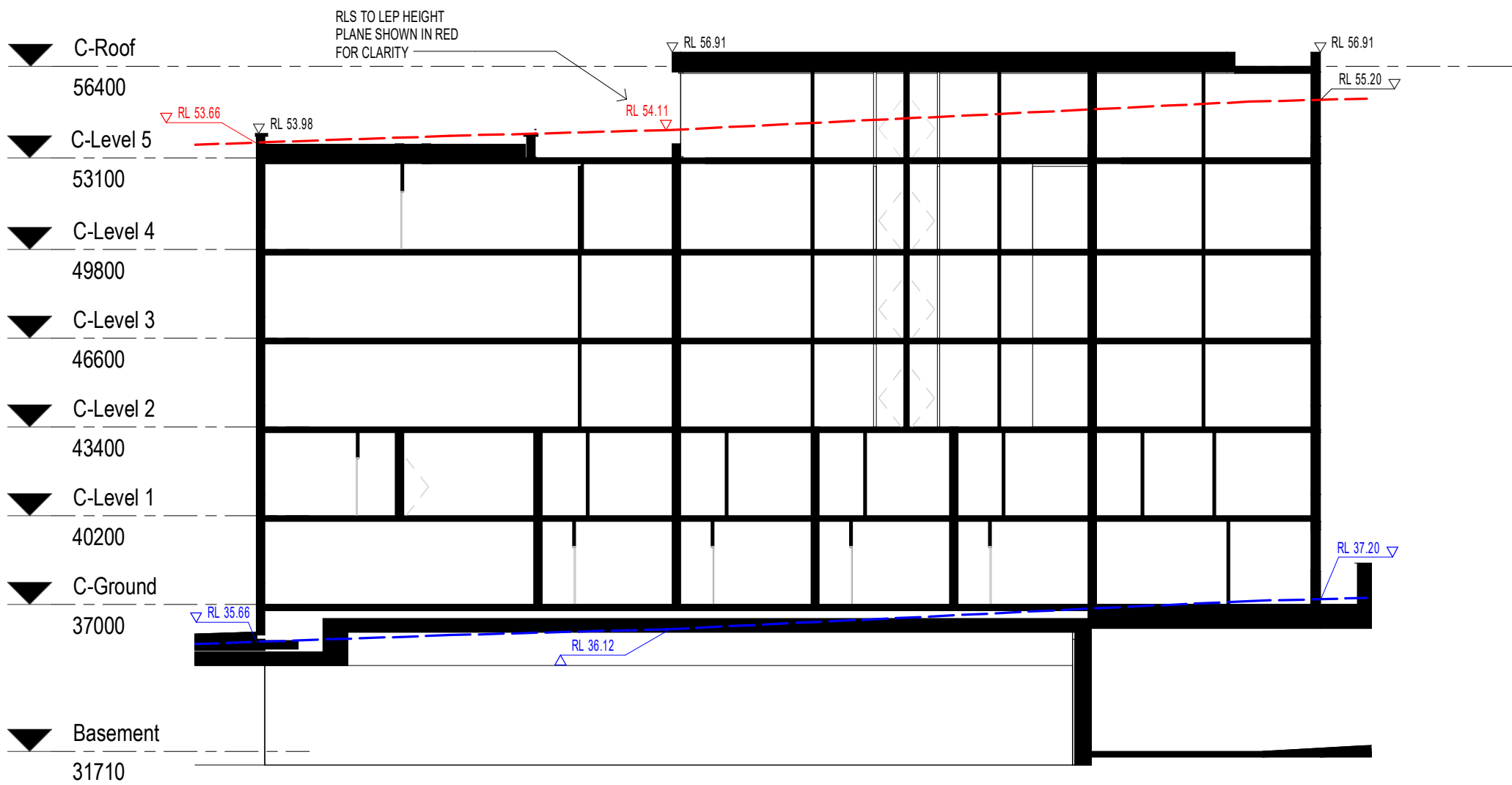
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Revision

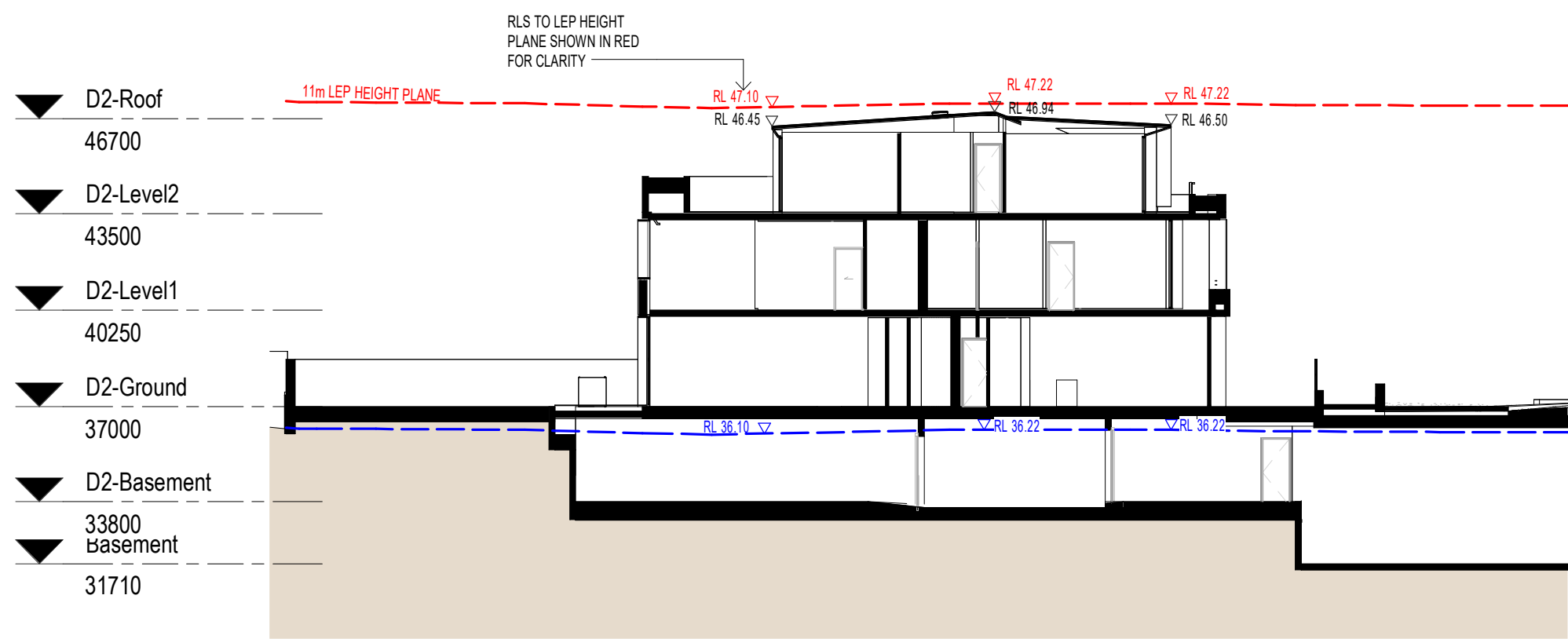
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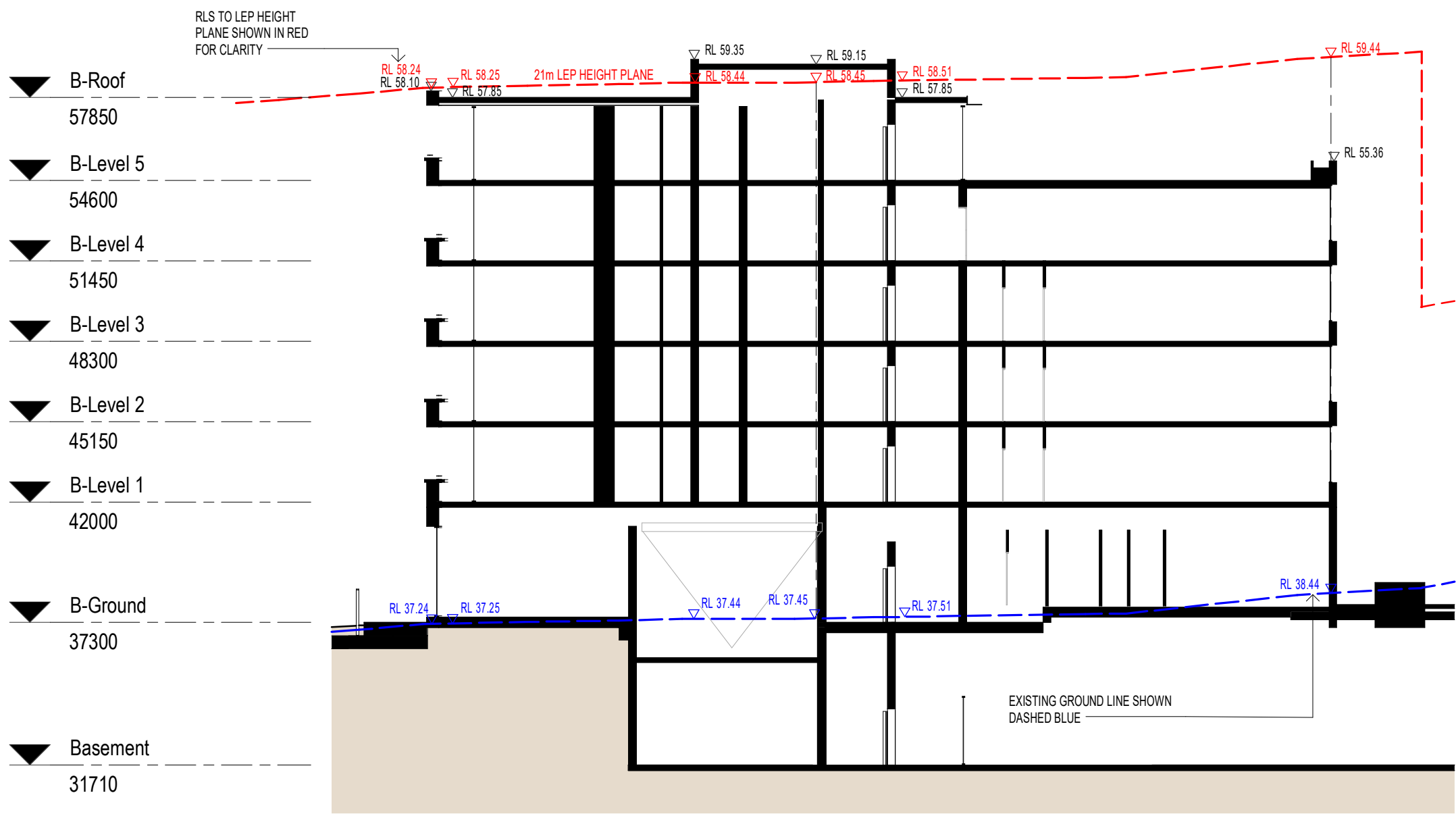
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Building A



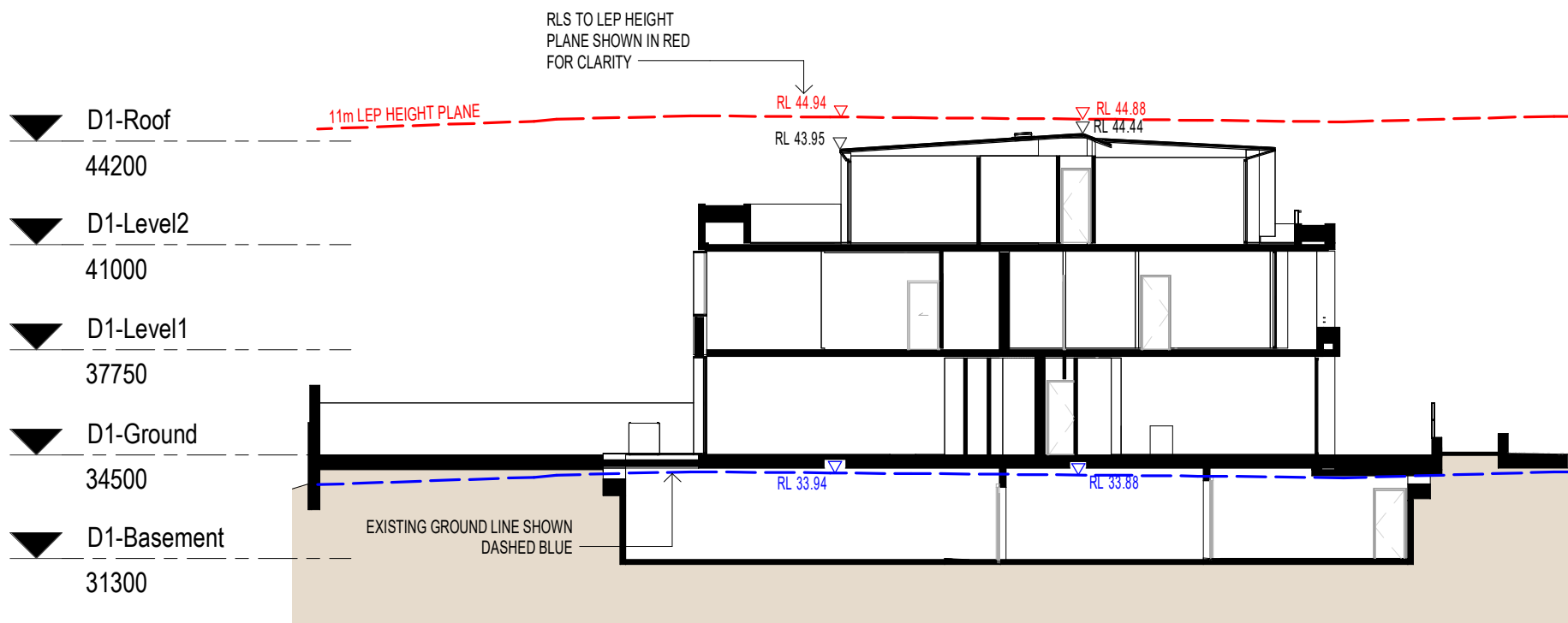
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Building C



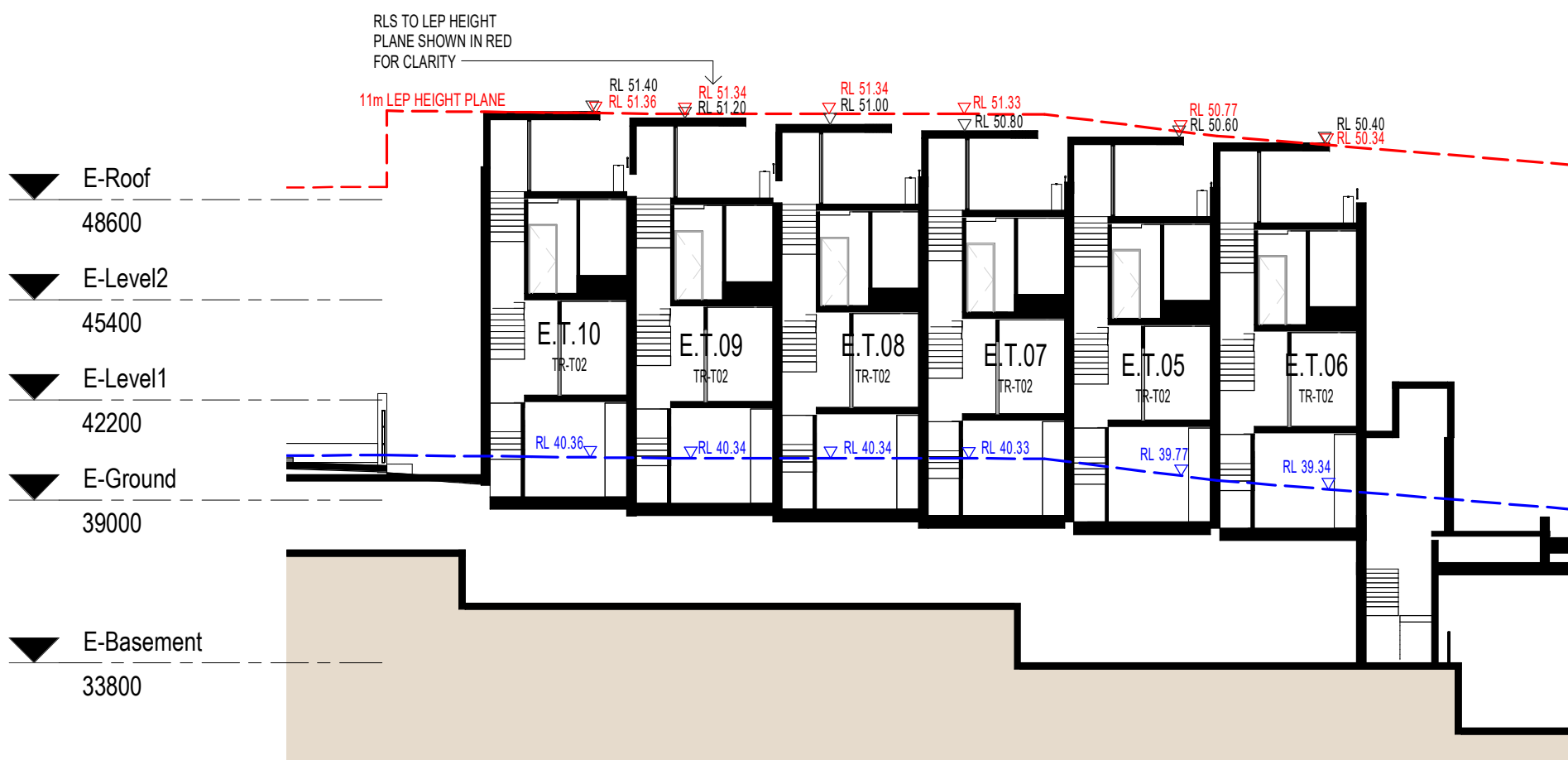
Building Height Compliance -
Building D2



Building Height Compliance -
Building B



Building Height Compliance -
Building D1



Building Height Compliance -
Building E1

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Nominated Architects: Adam Haddow-7188 | John Pradel-7004

FOR APPROVAL

Rev	Date	Revision	By	Chk.
1	10.02.2024	S4.55 Modification	DC	JT
2	12.03.2024	S4.55 Modification	DC	JT

Planning & Heritage

Urbis

Landscape Architect

Arcadia Landscape Architecture

BCA

Building Certificates Australia

Services, Hydraulic & BASIX

Integrated Group Services

Civil & Geotech

EI Australia

Traffic

Ason Group

Waste Management

Elephant's Foot Waste Compactors

Arborist

Naturally Trees

Access Consultant

Vista Access Architects

Client

Coronation Property

Project

ASHBURY STAGE 2

149-163 MILTON STREET
ASHBURY NSW 2193

Drawing Name

Building Height Compliance
Sections

Date	Scale	Sheet Size
12.03.2024	1 : 200	@ A1

Drawn	Chk.
DC	JT

Job No.	Drawing No.	Revision
6839	DA-2911	/ 2

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490 Crown Street
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FOR APPROVAL

Rev	Date	Revision	By	Chk.
1	05.05.2020	Preliminary - DA Set 20%	JS	WG
2	18.05.2020	Preliminary - DA Set 40%	JS	WG
3	27.08.2020	For DA	JS	WG
4	17.03.2021	For DA - Additional Information	JS	WG
5	03.04.2021	For DA - Additional Information	JS	WG
6	16.06.2021	Updated for Information	WG	WG
7	15.07.2021	Issued for Section34	WG	WG
8	16.07.2021	Issued for Planning Panel	WG	WG
9	28.07.2021	Post SOFAC	WG	WG
10	30.08.2021	L&EC Submission	BM	WC
11	18.09.2021	L&EC Submission	DC	JT
12	13.12.2023	S4.55 Modification	DC	JT
13	07.02.2024	S4.55 Modification	DC	JT
14	12.03.2024	S4.55 Modification	DC	JT

NOTE: MINOR CHANGES TO FORM AND CONFIGURATION MAY BE REQUIRED WHEN DRAWINGS ARE SUBSEQUENTLY PREPARED FOR CONSTRUCTION PURPOSES AFTER THE GRANT OF DEVELOPMENT CONSENT



Communal Open Space

PROPOSED COMMUNAL OPEN SPACE (Approved) **PRINCIPLE COMMUNAL OPEN SPACE**

Ground COS
Sub-Total 4,840m²

Rooftop COS
Building B 261m²
Building C 279m²
Sub-Total 540m²

Total Area 5,380m²
Site Area 16,220m²
% of Site 33%

PROPOSED COMMUNAL OPEN SPACE (S4.55 Modification)

Ground COS
Sub-Total 4,840m²

Rooftop COS
Building B 261m²

Total Area 5,101m²
Site Area 16,220m²
% of Site 31.4%



Deep Soil

PROPOSED DEEP SOIL

Site Area 16,220m²

Deep Soil Area 3,035m²

Total % 18.7%

NOTE: DEEP SOIL CALCULATION EXCLUDES IMPERVIOUS PATHS

Client

Coronation Property

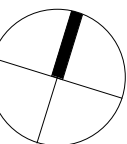
Project

ASHBURY STAGE 2

**149-163 MILTON STREET
ASHBURY NSW 2193**

Drawing Name

COS & Deep Soil

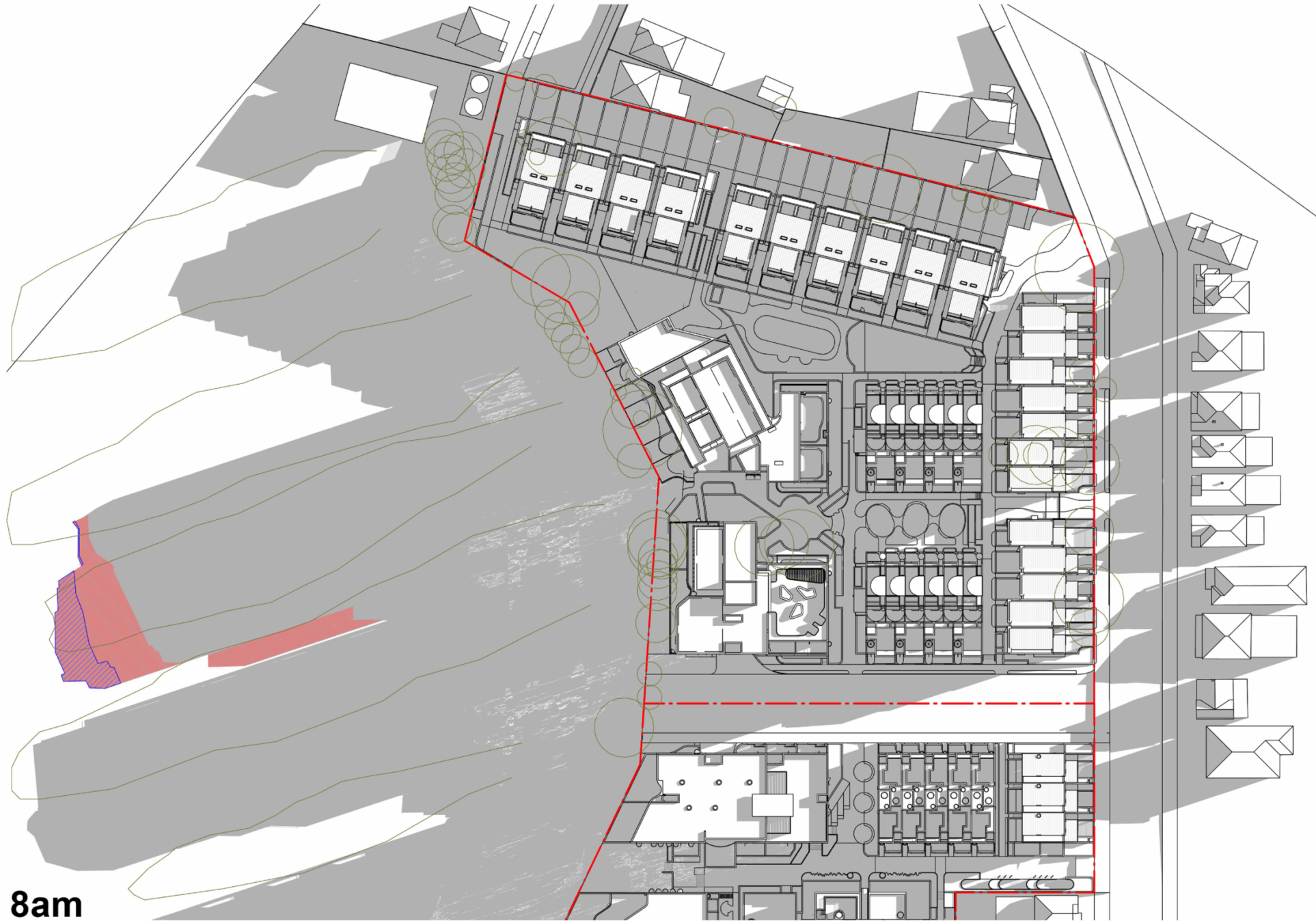


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Drawn DC Chk. JT

Job No. 6839 Drawing No. DA-2940 Revision / 14





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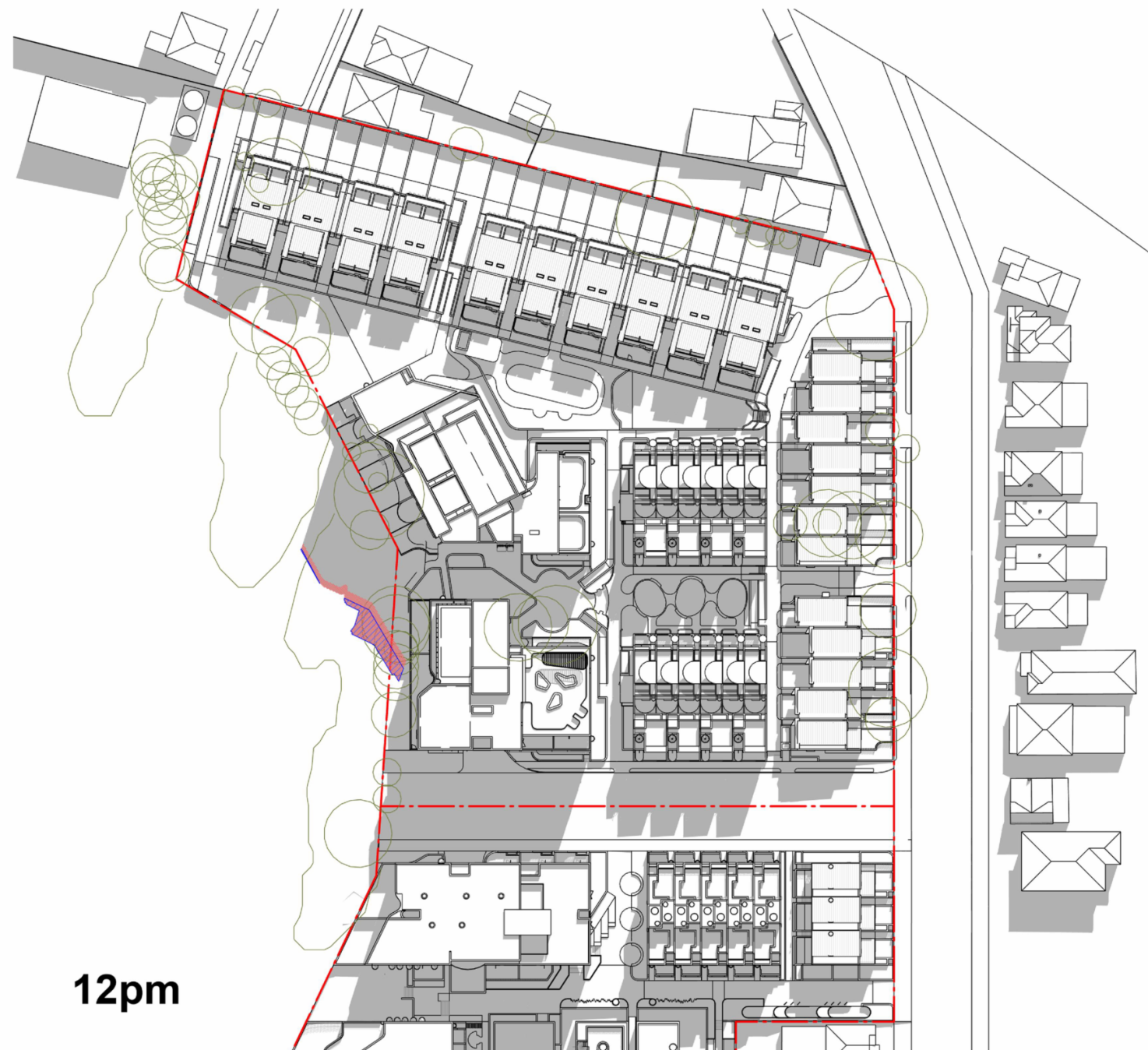
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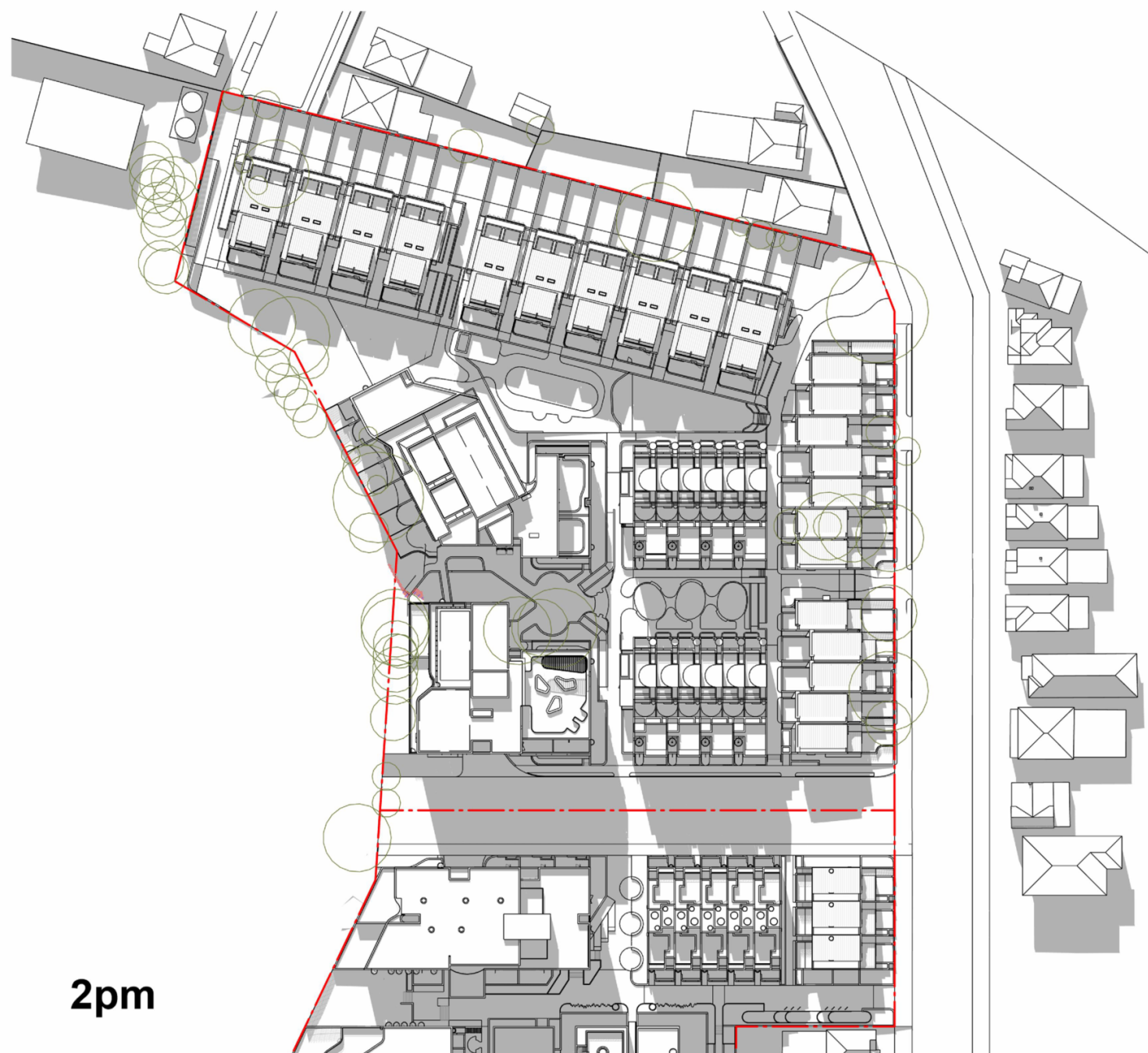
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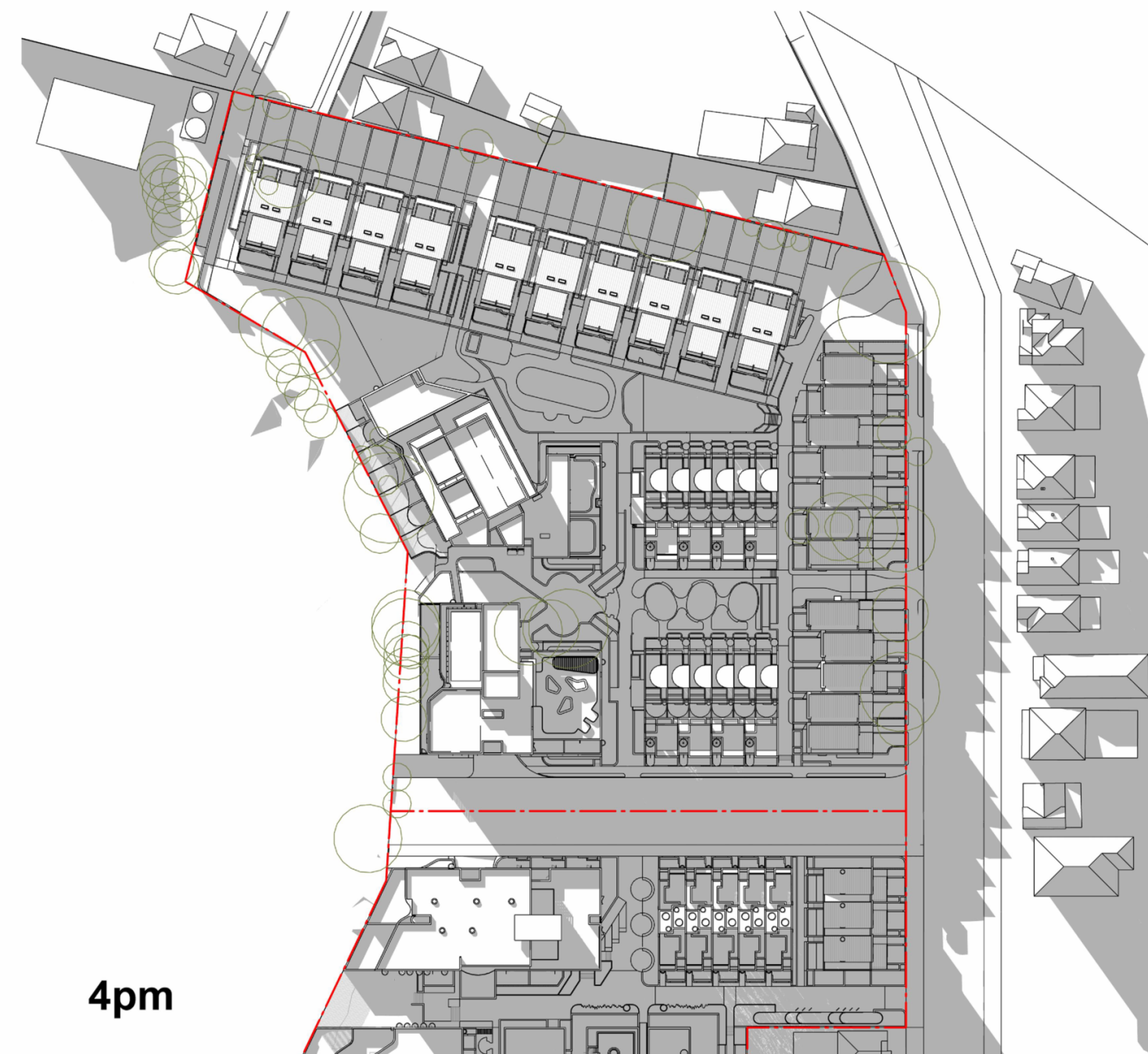
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Nominated Architects: Adam Haddow-7188 | John Pradel-7004

FOR APPROVAL

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1	05.05.2020	Preliminary - DA Set 20%	JS	WG
2	18.05.2020	Preliminary - DA Set 40%	JS	WG
3	28.07.2020	For Coordination	JS	WG
4	27.08.2020	For DA	JS	WG
5	30.08.2021	L&EC Submission	BM	WG
6	10.09.2021	L&EC Submission	BM	AH
7	01.11.2023	Draft S4.55 Modification	DC	DC
8	03.11.2023	S4.55 Modification	DC	JT
9	13.12.2023	S4.55 Modification	DC	JT
10	25.01.2024	S4.55 Modification	DC	JT
11	07.02.2024	S4.55 Modification	DC	JT
12	12.03.2024	S4.55 Modification	DC	JT

NOTE: MINOR CHANGES TO FORM AND CONFIGURATION MAY BE REQUIRED WHEN DRAWINGS ARE SUBSEQUENTLY PREPARED FOR CONSTRUCTION PURPOSES AFTER THE GRANT OF DEVELOPMENT CONSENT

ADDITIONAL SHADOW FROM PROPOSED AMENDMENTS

ADDITIONAL SHADOW CAUSED BY BUILDING OVER LEP HEIGHT PLANE

SHADOW OF EXISTING TREE CANOPY ON W.H. WAGENER OVAL

Client

Coronation Property

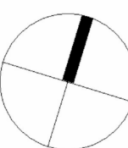
Project

ASHBURY STAGE 2

149-163 MILTON STREET
ASHBURY NSW 2193

Drawing Name

Shadow Diagrams (Winter Solstice)



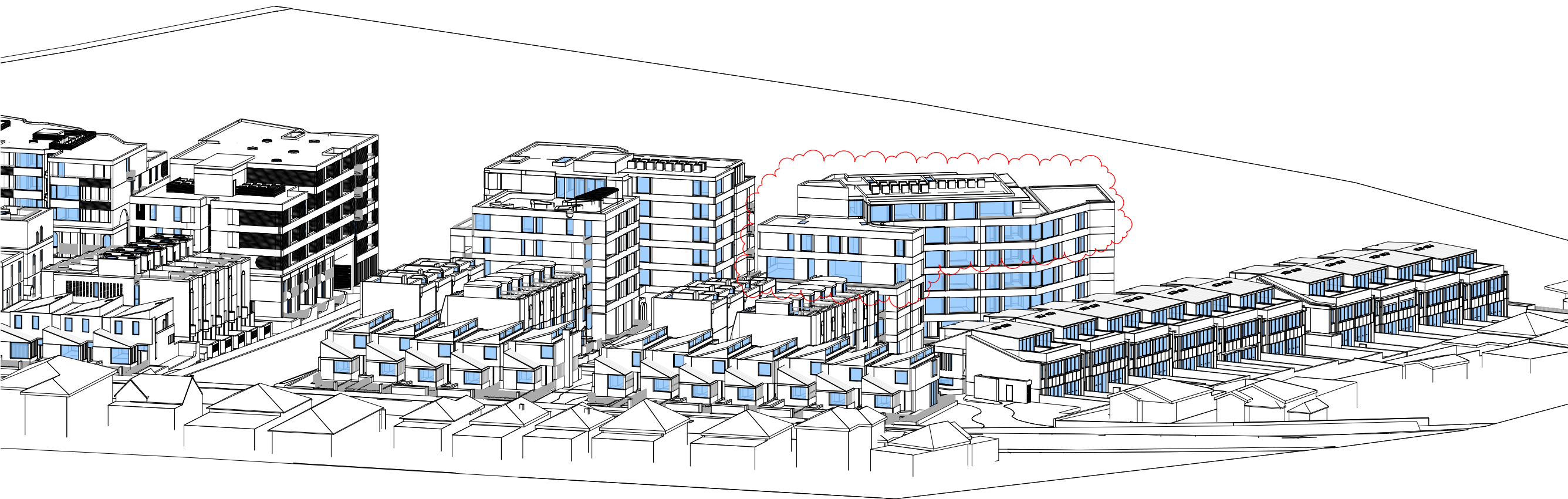
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Drawn DC Chk. JT

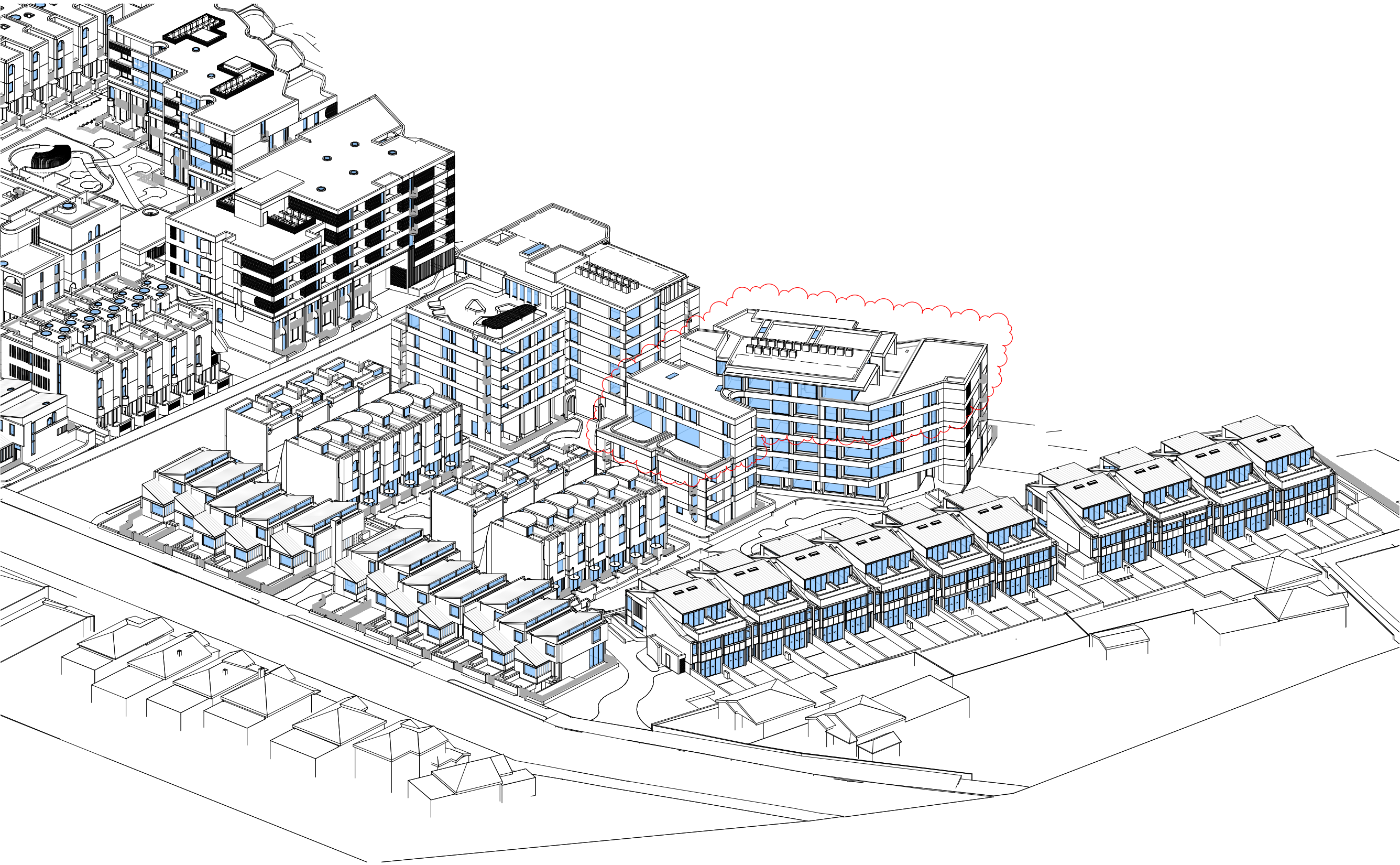
Job No. 6839 Drawing No. DA-3001 Revision / 12

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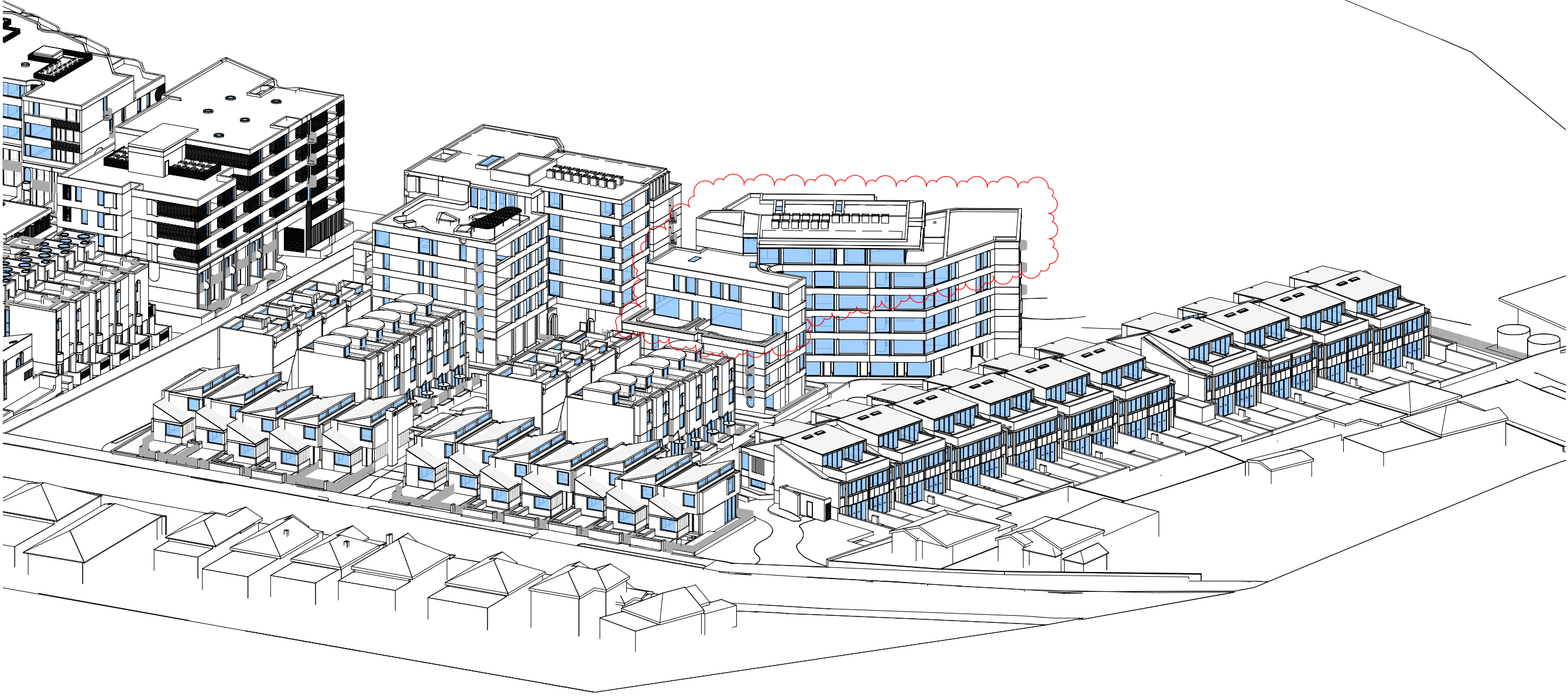




8am



10am



9am

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Nominated Architects: Adam Haddow-7188 | John Pradel-7004

FOR APPROVAL

Rev	Date	Revision	By	Chk.
1	05.05.2020	Preliminary - DA Set 20%	JS	WG
2	18.05.2020	Preliminary - DA Set 40%	JS	WG
3	27.08.2020	For DA	JS	WG
4	17.03.2021	For DA - Additional Information	JS	WG
5	15.07.2021	Issued for Section34	WG	WG
6	30.08.2021	L&EC Submission	BM	WG
7	18.09.2021	L&EC Submission	BM	AH
8	27.10.2021	L&EC Submission	WG	WG
9	13.12.2023	S4.55 Modification	DC	JT
10	12.03.2024	S4.55 Modification	DC	JT

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Client

Coronation Property

Project

ASHBURY STAGE 2
149-163 MILTON STREET
ASHBURY NSW 2193

Drawing Name

View From Sun (Winter Solstice)

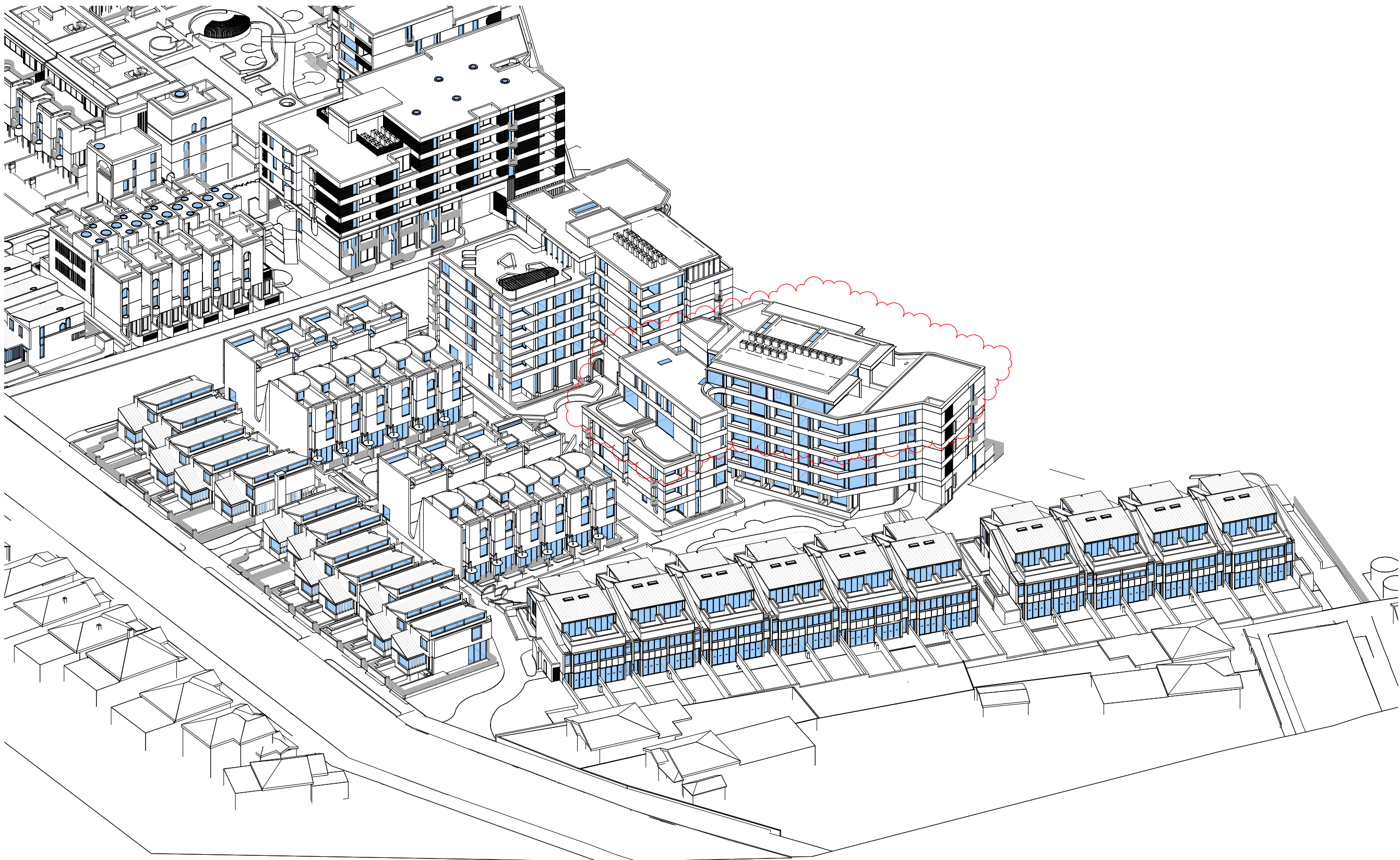
Date12.03.2024ScaleSheet Size@ A1

DrawnDCChk.JT

Job No.6839Drawing No.DA-3002Revision / 10

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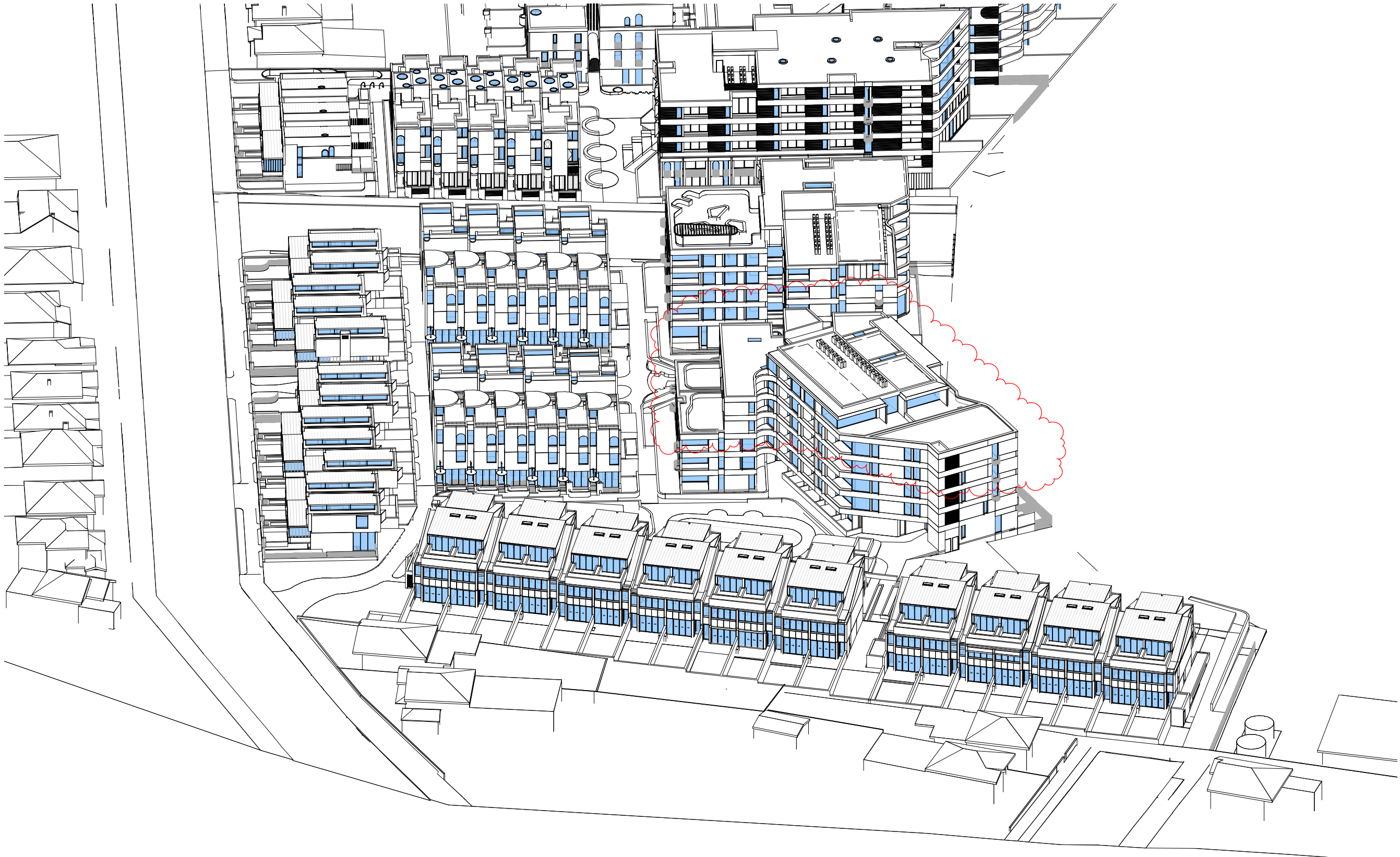




11am



12pm



1pm

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FOR APPROVAL

Rev	Date	Revision	By	Chk.
1	17.03.2021	For DA - Additional Information	JS	WG
2	15.07.2021	Issued for Section34	WG	WG
3	30.08.2021	L&EC Submission	BM	WG
4	18.09.2021	L&EC Submission	BM	AH
5	27.10.2021	L&EC Submission	WG	WG
6	13.12.2023	S4.55 Modification	DC	JT
7	12.03.2024	S4.55 Modification	DC	JT

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Client

Coronation Property

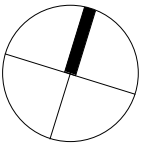
Project

ASHBURY STAGE 2

149-163 MILTON STREET
ASHBURY NSW 2193

Drawing Name

View From Sun (Winter Solstice)-2



Date 12.03.2024 Scale Sheet Size @ A1

Drawn DC Chk. JT

Job No. 6839 Drawing No. DA-3003 Revision / 7

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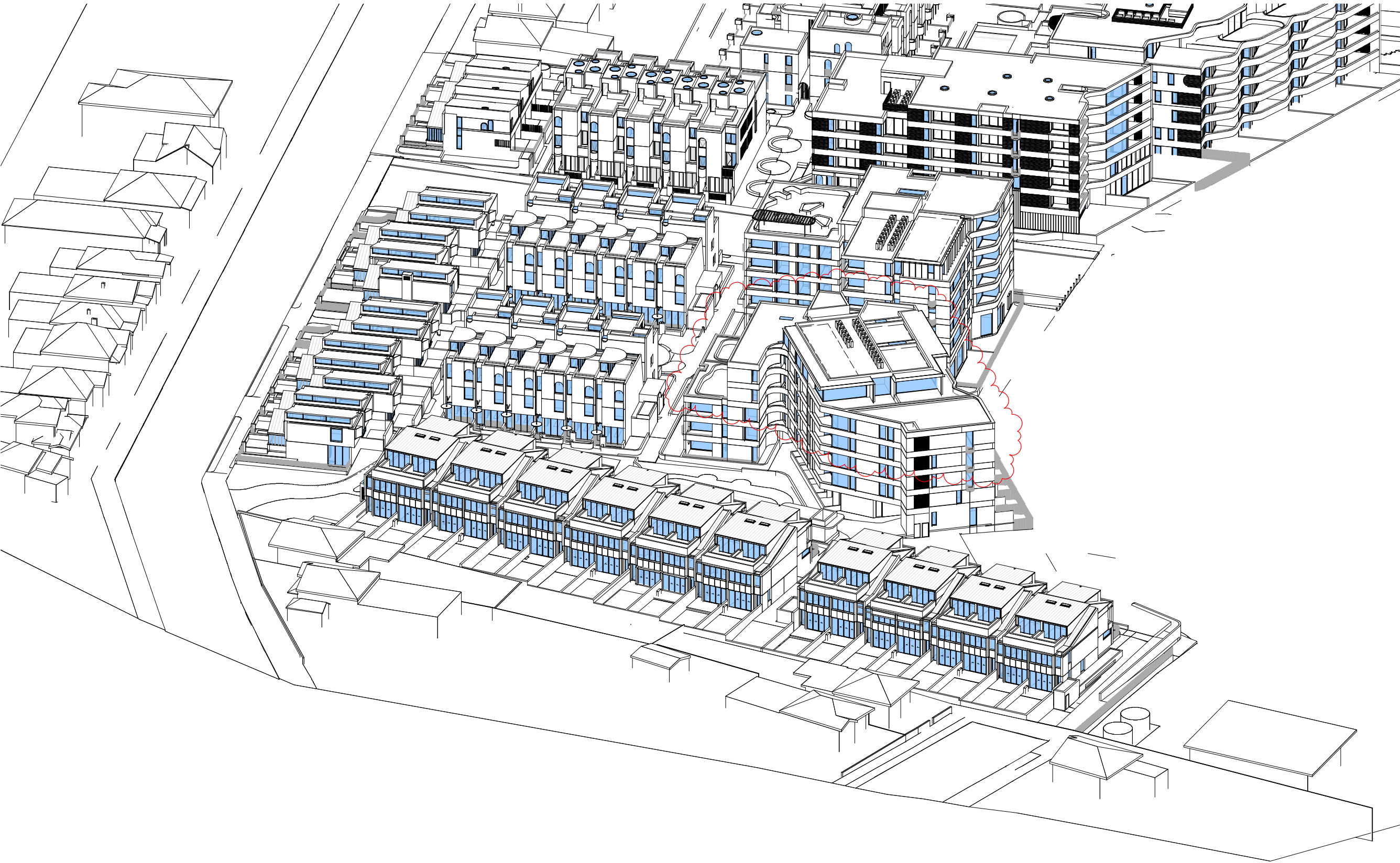
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Nominated Architects: Adam Haddow-7188 | John Pradel-7004

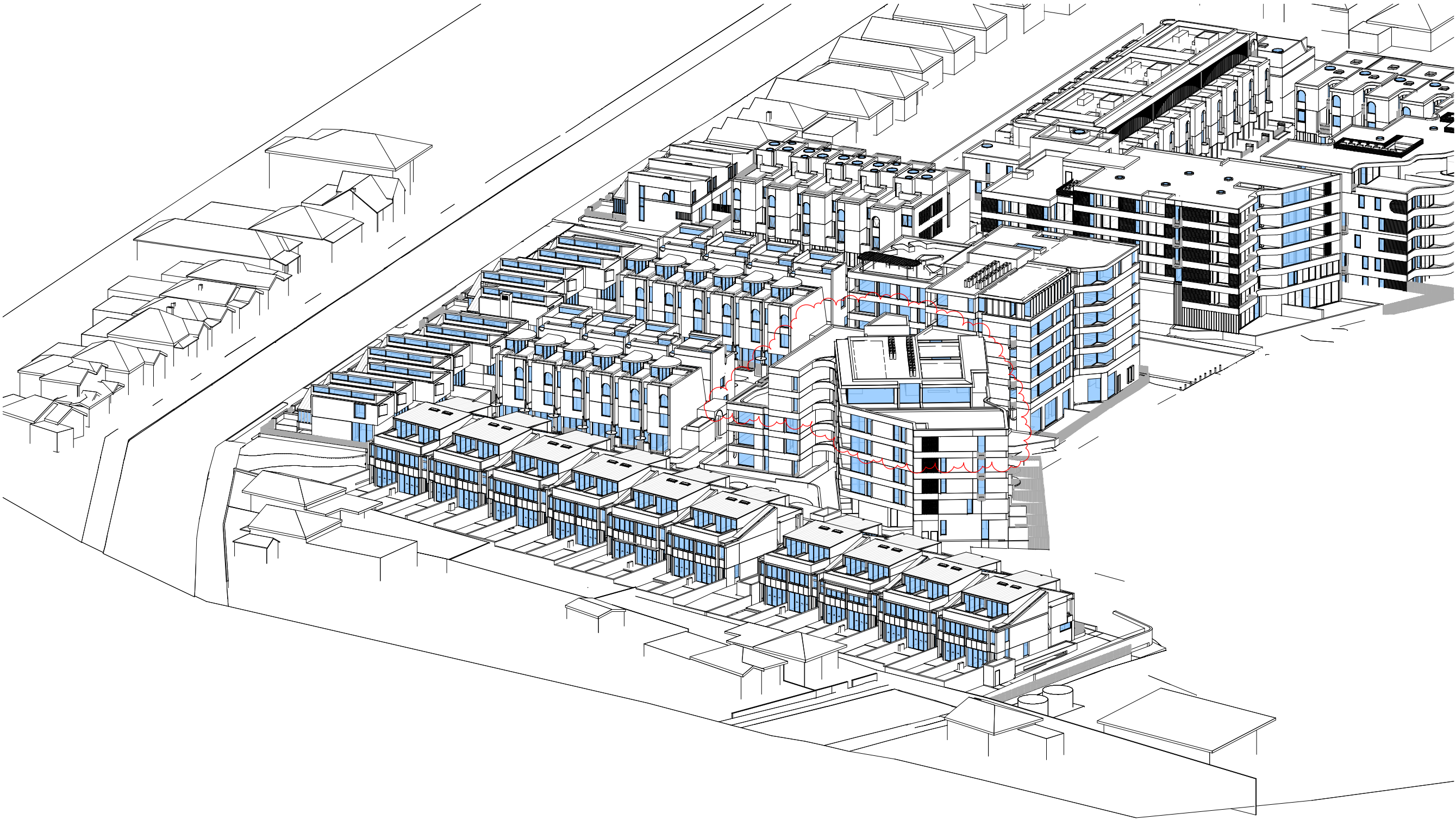
FOR APPROVAL

Rev	Date	Revision	By	Chk.
1	27.10.2021	L&EC Submission	WG	WG
2	13.12.2023	S4.55 Modification	DC	JT
3	12.03.2024	S4.55 Modification	DC	JT

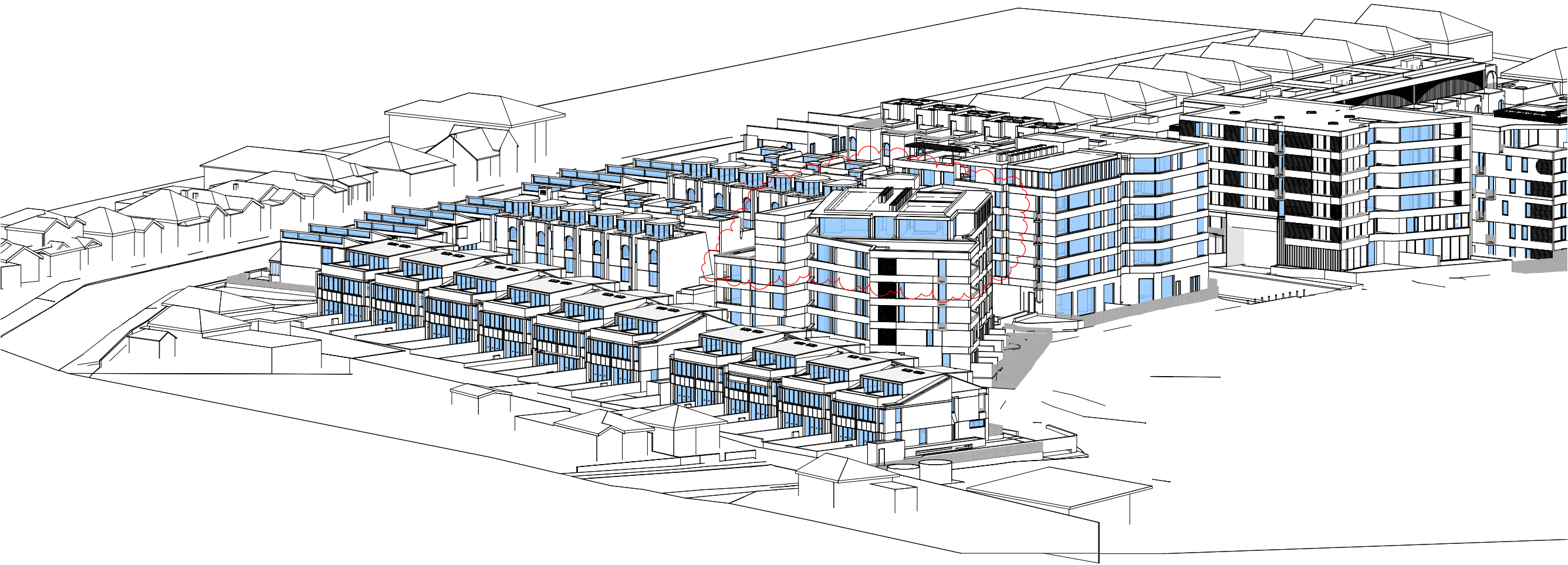
NOTE: MINOR CHANGES TO FORM AND CONFIGURATION MAY BE REQUIRED WHEN DRAWINGS ARE SUBSEQUENTLY PREPARED FOR CONSTRUCTION PURPOSES AFTER THE GRANT OF DEVELOPMENT CONSENT



2pm



3pm



4pm

Client

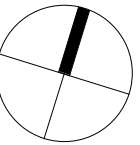
Coronation Property

Project

ASHBURY STAGE 2
149-163 MILTON STREET
ASHBURY NSW 2193

Drawing Name

View From Sun (Winter Solstice)-3



Date 12.03.2024 Scale Sheet Size @ A1

Drawn DC Chk. JT

Job No. 6839 Drawing No. DA-3004 Revision / 3

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Ground



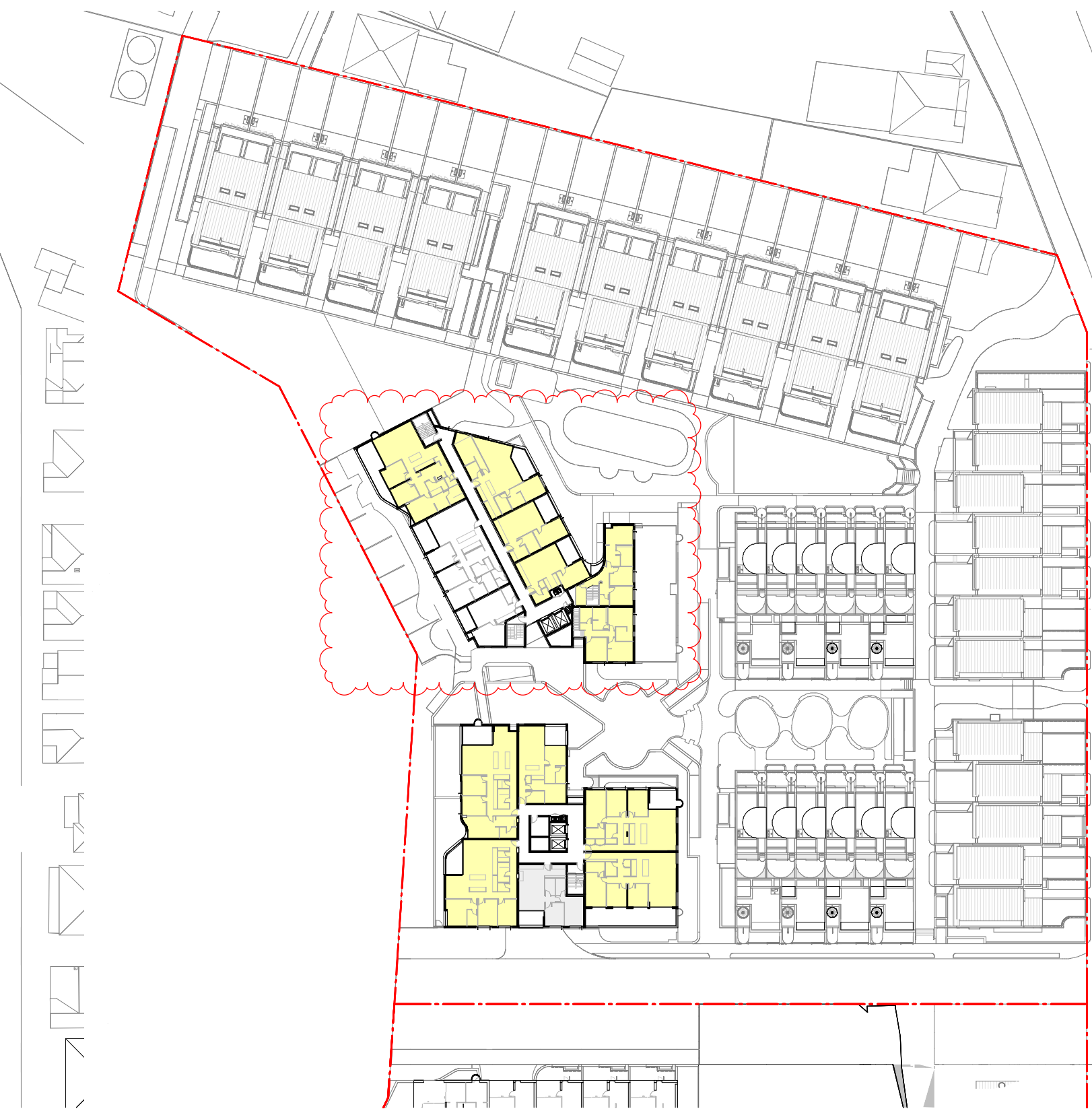
Level 1



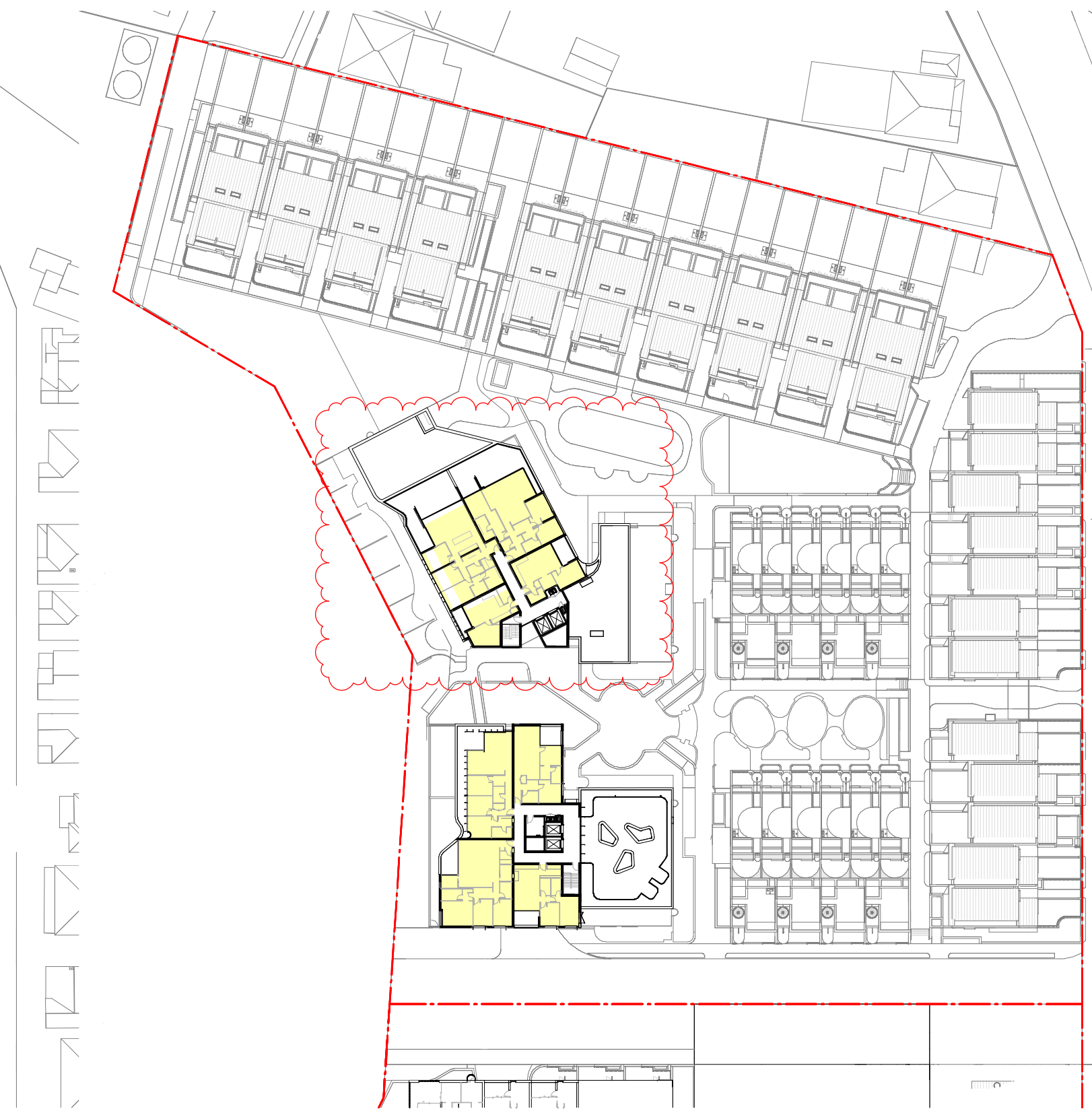
Level 2



Level 3



Level 4



Level 5

SOLAR ACCESS >2HRS (Approved)

Building A	7 of 10
Building B	25 of 32
Building C	26 of 33
Building D	21 of 30
Building E	7 of 10
Building F	12 of 12

TOTAL 98 of 127

77% of apartments have a min. of 2 hours
SEPP 65 Compliant

SOLAR ACCESS <15 MINS (Approved)

Building A	2 of 10
Building B	4 of 32
Building C	5 of 33
Building D	6 of 30
Building E	2 of 10
Building F	0 of 12

TOTAL 19 of 127

15% of apartments have less than 15 mins
SEPP 65 Compliant

SOLAR ACCESS >2HRS (\$4.55 Modification)

Building A	7 of 10
Building B	22 of 32
Building C	30 of 39
Building D	21 of 30
Building E	7 of 10
Building F	12 of 12

TOTAL 99 of 133

74.4% of apartments have a min. of 2 hours
SEPP 65 Compliant

SOLAR ACCESS <15 MINS (\$4.55 Modification)

Building A	2 of 10
Building B	4 of 32
Building C	7 of 39
Building D	6 of 30
Building E	2 of 10
Building F	0 of 12

TOTAL 21 of 133

15.7% of apartments have less than 15 mins
SEPP 65 Compliant

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Nominated Architects: Adam Haddow-7188 | John Pradel-7004

FOR INFORMATION

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3	27.08.2020	For DA	JS	WG
4	08.07.2021	For Review & Comment	BM	WG
5	15.07.2021	Issued for Section34	WG	WG
6	30.08.2021	L&EO Submission	DM	WG
7	13.12.2023	S4.55 Modification	DC	JT
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Planning & Heritage

Urbis

Landscape Architect

Arcadia Landscape Architecture

BCA

Building Certificates Australia

Services, Hydraulic & BASIX

Integrated Group Services

Civil & Geotech

EI Australia

Traffic

Ason Group

Waste Management

Elephant's Foot Waste Compactors

Arborist

Naturally Trees

Access Consultant

Jensen Hughes

Client

Coronation Property

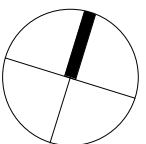
Project

ASHBURY STAGE 2

149-163 MILTON STREET
ASHBURY NSW 2193

Drawing Name

SEPP 65 Analysis - Solar Access



Date	Scale	Sheet Size
12.03.2024	1 : 800	@ A1

Drawn	Chk.
DC	JT

Job No.	Drawing No.	Revision
6839	DA-3011	/ 9

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Ground



Level 1



Level 2



Level 3



Level 4



Level 5

CROSS VENTILATION (Approved)

Building A	10 of 10
Building B	26 of 32
Building C	25 of 33
Building D	30 of 30
Building E	10 of 10
Building F	12 of 12

TOTAL 113 of 127

89% of apartments are naturally cross ventilated
SEPP 65 Compliant

CROSS VENTILATION (S4.55 Modification)

Building A	10 of 10
Building B	26 of 32
Building C	28 of 39
Building D	30 of 30
Building E	10 of 10
Building F	12 of 12

TOTAL 116 of 133

87% of apartments are naturally cross ventilated
SEPP 65 Compliant

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Nominated Architects: Adam Haddow-7188 | John Pradel-7004

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5	18.09.2021	L&EC Submission	BM	AH
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8	12.03.2024	S4.55 Modification	DC	JT

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Planning & Heritage

Urbis

Landscape Architect

Arcadia Landscape Architecture

BCA

Building Certificates Australia

Services, Hydraulic & BASIX

Integrated Group Services

Civil & Geotech

EI Australia

Traffic

Ason Group

Waste Management

Elephant's Foot Waste Compactors

Arborist

Naturally Trees

Access Consultant

Jensen Hughes

Client

Coronation Property

Project

ASHBURY STAGE 2

149-163 MILTON STREET
ASHBURY NSW 2193

Drawing Name

SEPP 65 Analysis - Cross
Ventilation

Date	Scale	Sheet Size
12.03.2024	1 : 800	@ A1

Drawn	Chk.
DC	JT

Job No.	Drawing No.	Revision
6839	DA-3021	/ 8

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View from W.H Wagener Oval (Approved DA)



View from W.H Wagener Oval (Proposed Modification)

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FOR APPROVAL

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Client

Coronation Property

Project

ASHBURY STAGE 2

149-163 MILTON STREET
ASHBURY NSW 2193

Drawing Name

Photomontage

Date12.03.2024ScaleSheet Size@ A1

DrawnDCChkJT

Job No.6839Drawing No.DA-4003Revision / 3

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View from W.H Wagener Oval (Approved DA)



View from W.H Wagener Oval (Proposed Modification)

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Client

Coronation Property

Project

ASHBURY STAGE 2

149-163 MILTON STREET
ASHBURY NSW 2193

Drawing Name

Photomontage

Date12.03.2024ScaleSheet Size@ A1

DrawnDCChkJT

Job No.6839Drawing No.DA-4004Revision / 2

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